

ADDENDUM #2

1.1 PROJECT INFORMATION

- A. Project Name: **Long Sands Beach Bathhouse.**
- B. Owner: **Town of York, York, Maine.**
- C. Engineer: **Ransom Consulting, Inc., 400 Commercial Street, Portland, Maine.**
- D. Engineer Project Number: **151.06011.**
- E. Date of Addendum: **October 14, 2016.**

1.2 NOTICE TO BIDDERS

- A. This Addendum is issued to all registered plan holders pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. This Addendum also answer questions which were asked during the Pre-Bid meeting and walkthrough of the Site, which was held on October 11, 2016 at 10:00 a.m. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is unchanged by this addendum. **Bids are due on Friday, October 28, 2016 at 2:00 p.m. Questions can be submitted until October 21, 2016.**

1.3 ATTACHMENTS

- A. Pre-Bid Attendance Sign-In sheet
- B. Plan Holders List
- C. Revised Specifications Sections: Table of Contents; Section 004113 – Bid Form; Section 004322 – Unit Prices Form; Section 012200-Unit Prices
- D. Additional Specification Sections: Section 321413 – Precast Concrete Unit Paving
- E. Revised Drawings: C101-Site and Utility Plan; L3-Detail Sheet; A7.01-Exterior Details; A8.21-Window Types & Details; E2.01-Electrical Plan; E3.01-Legend, Notes, One-Line and Panel Schedule
- F. Additional Drawings: L1A – Site Layout and Planting Plan; L2A – Grading Plan

1.4 REVISIONS TO THE CONTRACT DOCUMENTS

1. Unit Prices Form revised to include pricing for Alternates shown on the Drawings.
2. The Town of York Selectmen approved allowing a Contractor to present a Letter of Credit (LOC), acceptable to the Selectmen, in lieu of cash or bond for Bid Security. Bid Form revised to include language for LOC.
3. Replace the Cover sheet with the attached to reflect the modifications to the plan list
4. Replace drawings C-101 Site Layout and Utility Plan, E2.01-Electrical Plan and E3.01 Legend, Notes, One-Line and Panel Schedule with the attached drawings, so as to relocate the layout of power, telephone and CATV from the pole to the building.
5. Change the note on drawing E1.01 LIGHTING PLAN pertaining to the power from the pole to the meter to read "See drawing E2.01 for power, telephone and CATV routing requirements.
6. Replace drawings A7.02 Exterior Details and A8.21 Window Types & Details with the attached revised drawings.
7. Replace drawings L1 Site Layout and Planting Plan and L2 Grading Plan with the attached drawings.
8. Add drawings L1A Site Layout and Planting Plan and L2A Grading Plan to the plan set.

1.5 PRE-BID MEETING CLARIFICATIONS AND NOTES

1. Unit Prices Form is being revised to separate work being performed as part of the Bathhouse Project from Work being performed as part of the Master Plan Project. All of the Work will be performed as part of this Contract, but will be paid from separate funding sources. This separation will be reflected on the Unit Prices Form as a means to manage payment internally.
2. It is anticipated that at least one lane traffic will be kept open during construction. If one lane of traffic is closed, flaggers must be present. If any short term road closures are required (e.g., delivery of materials), these must be discussed in advance and coordinated with the Town and public safety officials about any traffic flow modifications (i.e. fire department, police department, ambulance services, trash collection and school departments, as necessary).
3. Access to the beach via a ramp adjacent to the existing building shall remain available to DPW personnel for maintenance purposes and to public safety personnel for emergency purposes. It is preferable to maintain pedestrian access to the extent practicable, but is not required.

RESPONSES TO QUESTIONS RECEIVED DURING/PRIOR TO PRE-BID MEETING

1. *How much of the roadwork is part of the project?*

This contract includes sidewalks adjacent to the Bathhouse which includes removal and resetting of existing granite curbing. Roadway realignment/reconstruction will be performed by DPW personnel or their subcontract(s). Removal of the island within the “eyebrow” will be performed by DPW.

2. *Will the Contractor be responsible for the curb and sidewalk?*

Granite curbing (remove and reset as well as any new curbing required) adjacent to the Bathhouse and within the limits shown on the Drawings is part of this Contract. Any sidewalks and curbing on the opposite side of Long Beach Avenue is the responsibility of DPW or their assigned subcontract

3. *Can building demolition start prior to removal of the island?*

Yes. Coordinate activities with the DPW.

4. *What is the basis for award? Is it cost, experience, etc.?*

The Town will be looking at cost as well as experience. It is expected that the award will be to the lowest qualified bidder as long as there

5. *Has there been an Engineer’s estimate generated for this project and can it be included with any addendum?*

A formal Engineer’s estimate which incorporates both the building (Bathhouse Project) and the small section of Work associated with the roadway realignment (Master Planning Project) has not been developed.

6. *Are there additional locations for materials storage available?*

The area immediately adjacent to the bathhouse is available for staging of materials. There may be limited storage area available, but it will be dependent on the weather and potential snow storage. These areas are likely to be at a distance from the project rather than in the immediate vicinity. This will need to be coordinated with the DPW.

7. *Are there any certified payroll requirements?*

There is no federal funding associated with this project and therefore certified payroll is not required.

8. *Are there any special foundation requirements due to the bathhouse being in a flood zone?*

The material beneath the proposed bathhouse is not a sand dune but rather material consistent with a gravel road base. The foundation plans are included in the drawing set and do not have special requirements.

9. *Is flood proofing required?*

Storm surges were part of the design considerations and are accounted for in the design documents.

10. *Can the list of plan holders be provided?*

The plan holder list is included as an attachment to this addendum.

11. *Are utility connections within the ROW part of this Contract or will existing services be re-used?*

The connection to utilities is included in the Drawings. The sanitary lines have been televised. Video is not currently available, but may be prior to construction. It may be determined that the existing lines could be reused. A 2-inch water service and underground electric are also identified on the utility plans. The bid documents assume new service with trenching and trench repair are included with this contract, but should the existing services be determined to be reusable, these line items can be removed from the Contract.

12. *SUR requested an extension of the bid date due to the complexity of the project. There was consensus among the participants at the meeting.*

RESPONSES TO QUESTIONS RECEIVED DURING ON-SITE WALK THROUGH

13. *What will happen to the existing drain in front of the existing bathhouse?*

The existing catch basin is identified as being removed. Associated piping will either be removed or abandoned in place. It is expected that the piping currently existing within the building envelope will be removed and any remaining piping 5 feet beyond the building footprint may be abandoned in place.

14. *Who is responsible for the underground tie ins?*

As was discussed in a previous similar question, the utility tie ins are included in this Contract. Viability of reusing the existing services will be determined during construction. All or a portion of the utility line items may be eliminated from the Contract should this occur.

15. *Does the Town have any interest in crushing any cinder blocks salvaged as demolition debris?*

No. However, the Town will take any pavement if the Contractor chooses not to dispose of it.

Plan Holders List (as of October 13, 2016)

1. See attached

Pre-Bid Attendance List

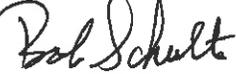
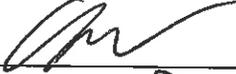
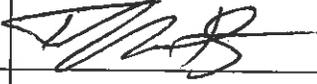
1. See attached
2. Additionally: Dean Lessard, Robin Cogger – Town of York; James Bartlett, Nan Graves – York Building Committee; Maureen McGlone – Ransom Consulting

END OF ADDENDUM NO. 2

**TOWN OF YORK
LONG SANDS BEACH BATHHOUSE**

PRE-BID ATTENDANCE SIGN-IN

OCTOBER 11, 2016 at 10:00 a.m.

Company and Address	Name and Signature	Phone/Fax/E-Mail
SUR CONSTRUCTION 233 CHESTNUT HILL ROAD ROCHESTER, NH 03867	BOB SCHULTE 	603-332-4554 603-332-0351 BSCHULTE@SURCONSTRUCTION.COM
CALEB JOHNSON BUILDERS 265 MAIN STREET BILDEFORD, ME 04005	ANDY HERBINE 	207-624-1475 ANDY@CTAB.ME
Chris Woods - Wood Excavating LLC PO Box 1282 Westbrook ME 04098	Chris Woods 	207-615-3663 chris@WoodsExcavatingLLC.COM
BRETT Patten H.L. Patten Construction Inc PO Box 450 Kittery ME 03904	BRETT Patten 	207 439 2008 207 439 2068 F Brett@hlpatten.com
Inofab 26 Broadway St. Pittsfield, NH 03263	Ted Nemetz 	603-435-5082 ted@inofab.com

PLAN HOLDERS LIST

Project Name: Long Sands Beach Bathhouse York, Maine **Pre-Bid Mtg:** October 11, 2016, 10:00 a.m.
Ransom Contacts: Steve Bradstreet, 772-2891

Deposit: \$100 per set (non-ref) **Location:** Long Sands Beach
Postage & Handling: \$20 per set (non-ref) **Bids Due:** October 19, 2016 at 2:00 p.m.
Separate Checks: No **Location:** Town Hall, 186 York Street, York, Maine

SET NUMBER	1	2	3	4
DATE SENT/ PICKED-UP:	10-6-16 via USPS	10-11-16 at meeting	10-11-16 at meeting	10-11-16 at meeting
CONTRACTOR/ SUPPLIER:	Dodge Data/ Analytics	York Parks & Rec	Caleb Johnson Construction	HL Patten Construction
CONTACT:	Bard Earich	Mike Sullivan	Andy Herbine	Brett Patten
ADDRESS:	3315 Central Ave, Hot Springs, AR		265 Main Street, Biddeford, ME	PO Box 400, Kittery, ME
TELEPHONE NUMBER:	513-666-3341		207-624-1475	207-439-2008
FAX NUMBER:	-----	-----	-----	207-439-2068
DEPOSIT RECEIVED	\$100.00	N/A	\$100.00	\$100.00
POSTAGE & HANDLING REC'D	\$20.00	N/A	N/A	N/A
ADDENDUM NO. 1	Emailed 10/14/16	Emailed 10/14/16	Emailed 10/14/16	Emailed 10/14/16
ADDENDUM NO. 2				
ADDENDUM NO. 3				
ADDENDUM NO. 4				
EMAIL	brad.earich@construction.com	msullivan@yorkmaine.org	andy@cjab.me	brett@hlpatten.com

PLAN HOLDERS LIST

Project Name: Long Sands Beach Bathhouse York, Maine **Pre-Bid Mtg:** October 11, 2016, 10:00 a.m.
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Deposit: \$100 per set (non-ref) **Location:** Long Sands Beach
Postage & Handling: \$20 per set (non-ref) **Bids Due:** October 19, 2016 at 2:00 p.m.
Separate Checks: No **Location:** Town Hall, 186 York Street, York, Maine

SET NUMBER	5	6	7	8
DATE SENT/ PICKED-UP:	10-11-16 at meeting	10-11-16 at meeting	10-11-16 via USPS	10-14-16 via USPS
CONTRACTOR/ SUPPLIER:	SUR Construction	York DPW	United Wall Systems LLC	T Buck Construction
CONTACT:	Bob Schulte	Dean Lessard	Andrew Elliott	
ADDRESS:	253 Chestnut Hill, Rochester, NH		19 Garland Street, Fitchburg, MA	302B Aurburn Rd Turner, ME
TELEPHONE NUMBER:	603-332-4554		978-602-4009	207-783-6223
FAX NUMBER:				
DEPOSIT RECEIVED	\$100.00	N/A	\$100.00	\$100.00
POSTAGE & HANDLING REC'D	\$20.00 (Return?)		\$20.00	\$20.00
ADDENDUM NO. 1	Emailed 10/14/16	Emailed 10/14/16	Emailed 10/14/16	Mailed with Plans
ADDENDUM NO. 2				
ADDENDUM NO. 3				
ADDENDUM NO. 4				
EMAIL	bschulte@surconstruction.com	dlessard@yorkmaine.org	andrew@uws-llc.com	

DOCUMENT 004113 - BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: **Long Sands Beach Bathhouse.**
- C. Project Location: **Long Beach Avenue.**
- D. Owner: **Town of York, York, Maine**
- E. Construction Manager: **Ransom Consulting, Inc., 400 Commercial Street, Suite 404, Portland, Maine.**
- F. Construction Manager Project Number: **151.06011.**

1.2 CERTIFICATIONS AND BASE BID

- A. The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by Ransom Consulting, Inc., having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of Task 1, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:
 - 1. _____ Dollars (\$_____).
 - 2. The above amount may be modified by amounts indicated by the Bidder on the attached Document 004322 "Unit Prices Form".

1.3 BID GUARANTEE

- A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within ten days after a written Notice of Award, if offered within 10 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, bid bond, or Approved Letter of Credit, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the *total* bid amount above:
 - 1. _____ Dollars (\$_____).

The Town of York Selectmen have authorized that a letter of credit (LOC) satisfactory to the Town of York may be used in lieu of cash or bond as surety.

- B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.4 SUBCONTRACTORS AND SUPPLIERS

A. The following companies shall execute subcontracts for the portions of the Work indicated:

- 1. Site Work: _____.
- 2. Concrete Work: _____.
- 3. Masonry Work: _____.
- 4. Roofing Work: _____.
- 5. Carpentry Work: _____.
- 6. Plumbing Work: _____.
- 7. HVAC Work: _____.
- 8. Electrical Work: _____.

1.5 TIME OF COMPLETION

A. The undersigned Bidder proposes and agrees hereby to commence the Work of the Contract Documents on a date specified in a written Notice to Proceed to be issued by the Owner, and shall fully complete the Work by May 15, 2016.

1.6 ACKNOWLEDGEMENT OF ADDENDA

A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:

- 1. Addendum No. 1, dated _____.
- 2. Addendum No. 2, dated _____.
- 3. Addendum No. 3, dated _____.
- 4. Addendum No. 4, dated _____.
- 5. Addendum No. 5, dated _____.

1.7 CONTRACTOR'S LICENSE

A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in the State of Maine, and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

1.8 SUBMISSION OF BID

- A. Respectfully submitted this ____ day of _____, 2016.
- B. Submitted By _____(Name of bidding firm or corporation).
- C. Authorized Signature: _____(Handwritten signature).
- D. Signed By: _____(Type or print name).
- E. Title: _____(Owner/Partner/President/Vice President).
- F. Witness By: _____(Handwritten signature).
- G. Attest: _____(Handwritten signature).
- H. By: _____(Type or print name).
- I. Title: _____(Corporate Secretary or Assistant Secretary).
- J. Street Address: _____.
- K. City, State, Zip _____.
- L. Phone: _____.
- M. License No.: _____.
- N. Federal ID No.: _____(Affix Corporate Seal Here).

END OF DOCUMENT 004113

DOCUMENT 004322 - UNIT PRICES FORM

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: **Long Sands Beach Bathhouse.**
- C. Project Location: **Long Beach Avenue.**
- D. Owner: **Town of York, York, Maine.**
- E. Engineer: **Ransom Consulting, Inc., 400 Commercial Street, Suite 404, Portland, Maine.**
- F. Engineer Project Number: **151.06011.**

1.2 BID FORM SUPPLEMENT

- A. This form is required to be attached to the Bid Form.
- B. The undersigned Bidder proposes that the sum of the amounts below equal the Contract Sum presented in the Bid Form.
- C. Contractor may bid on any or all of the Tasks presented, below.

1.3 UNIT PRICES – BATHHOUSE CONSTRUCTION

- A. Unit-Price No. 1: Mobilization and Demobilization.
 - 1. _____ Dollars (\$_____) per lump sum.
- B. Unit Price No. 2: Traffic Control.
 - 1. _____ Dollars (\$_____) per lump sum.
- C. Unit-Price No. 3: Erosion and Sedimentation Control..
 - 1. _____ Dollars (\$_____) per lump sum.
- D. Unit-Price No. 4: Demolition.
 - 1. _____ Dollars (\$_____) per lump sum.
- E. Unit-Price No. 5: Underground Electric Service.
 - 1. _____ Dollars (\$_____) per lump sum.
- F. Unit-Price No. 6: 6” Sanitary Piping

1. _____ Dollars (\$) _____ per lineal foot.

G. Unit-Price No. 7: Sanitary Manhole

1. _____ Dollars (\$) _____ per each.

H. Unit-Price No. 8: TideFlex Valve

1. _____ Dollars (\$) _____ per each.

I. Unit-Price No. 9: 2” Water Service

1. _____ Dollars (\$) _____ per lump sum.

J. Unit-Price No. 10: Concrete Slabs adjacent to Building (see attached exhibit)

1. _____ Dollars (\$) _____ per square yard.

K. Unit-Price No. 11: Landscaping

1. _____ Dollars (\$) _____ per lump sum.

L. Unit-Price No. 12: Hardscaping Elements

1. _____ Dollars (\$) _____ per lump sum.

M. Unit-Price No. 13: Building Construction

1. _____ Dollars (\$) _____ per lump sum.

N. Unit-Price No. 14: Plumbing

1. _____ Dollars (\$) _____ per lump sum.

O. Unit-Price No. 15: Electrical

1. _____ Dollars (\$) _____ per lump sum.

P. Unit-Price No. 16: Dewatering

1. _____ Dollars (\$) _____ per lump sum.

Q. Unit-Price No. 17: Salvage Value

1. _____ Dollars (\$) _____ per lump sum.

1.4 UNIT PRICES – MASTER PLAN CONSTRUCTION ITEMS

A. Unit-Price No. 18: Remove and Reset Granite Curb

1. _____ Dollars (\$ _____) per lineal foot.

B. Unit-Price No. 19: New Granite Curb

1. _____ Dollars (\$ _____) per lineal foot.

C. Unit-Price No. 20: Concrete Sidewalks and Ramps (see attached exhibit)

1. _____ Dollars (\$ _____) per square yard.

D. Unit-Price No. 21: Seawall Reconstruction

1. _____ Dollars (\$ _____) per lineal foot.

E. Unit-Price No. 22: Electrical Conduit

1. _____ Dollars (\$ _____) per lineal foot.

1.5 ADDITIONAL ALTERNATES TO CONTRACT

A. Alternate 1: Reduce extent of roof over walkway on East façade, as shown in structural and architectural drawings. Provide alternate lighting on East façade as indicated in electrical and architectural drawings and specifications.

1. _____ Dollars (\$ _____) per lump sum.

B. Alternate 2: Remove cupola and all related components as shown in structural and architectural drawings.

1. _____ Dollars (\$ _____) per lump sum.

C. Alternate 3: Remove (2) rolling overhead security doors as indicated on drawings.

1. _____ Dollars (\$ _____) per lump sum.

D. Alternate 4: Remove storage platforms as indicated on structural and architectural drawings.

1. _____ Dollars (\$ _____) per lump sum.

E. Alternate 5: Replace Drawing L1 Site Layout and Planting Plan, L2 Grading Plan, and L3 Detail Sheet – BASE BID with Drawing L1A Site Layout and Planting Plan, L2A Grading Plan, and L3 Detail Sheet – ALTERNATE BID. This alternate includes the modification of paving materials, on-site changing stalls, etc.

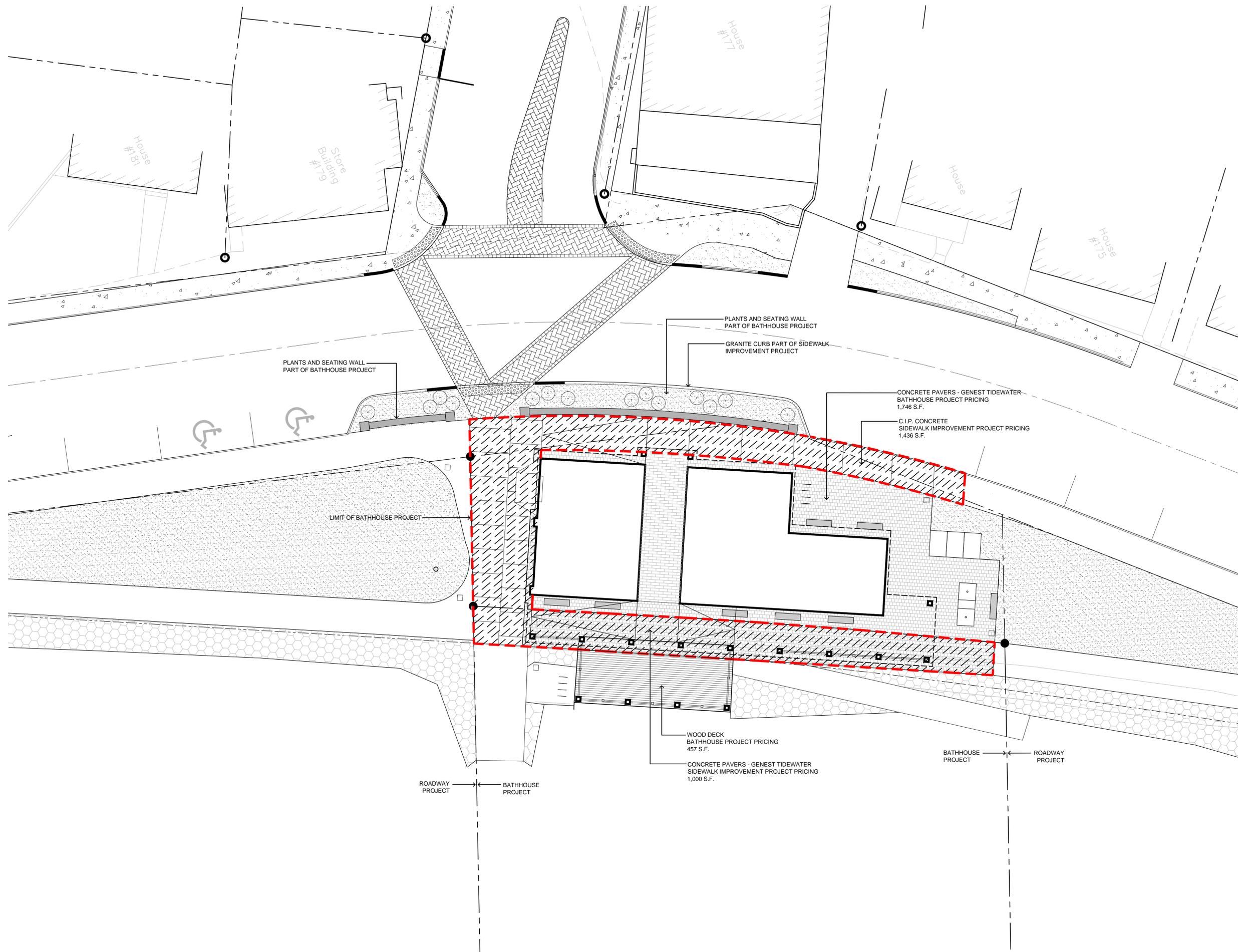
1. _____ Dollars (\$ _____) per lump sum.

1.6 SUBMISSION OF BID SUPPLEMENT

A. Respectfully submitted this ____ day of _____, 2016.

- B. Submitted By: _____ (Insert name of bidding firm or corporation).
- C. Authorized Signature: _____ (Handwritten signature).
- D. Signed By: _____ (Type or print name).
- E. Title: _____.

END OF DOCUMENT 004322



Owner / Applicant:
 Town of York
 186 York Street
 York, Maine 03909

Prepared By:
Mitchell & Associates
 LANDSCAPE ARCHITECTS
 The Staples School
 70 Center Street
 Portland, Maine 04101 P: 207.774.4427 F: 207.874.2460

LONG SANDS BEACH BATHHOUSE

York, Maine

Long Beach Ave.

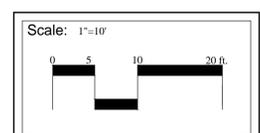
Date: JULY 7, 2016

Issued For: REVIEW

Revisions:
 FINAL PLAN REVIEW 8/11/16
 0 - ISSUED FOR BID 10/04/16
 ADDENDUM #2 10/13/16

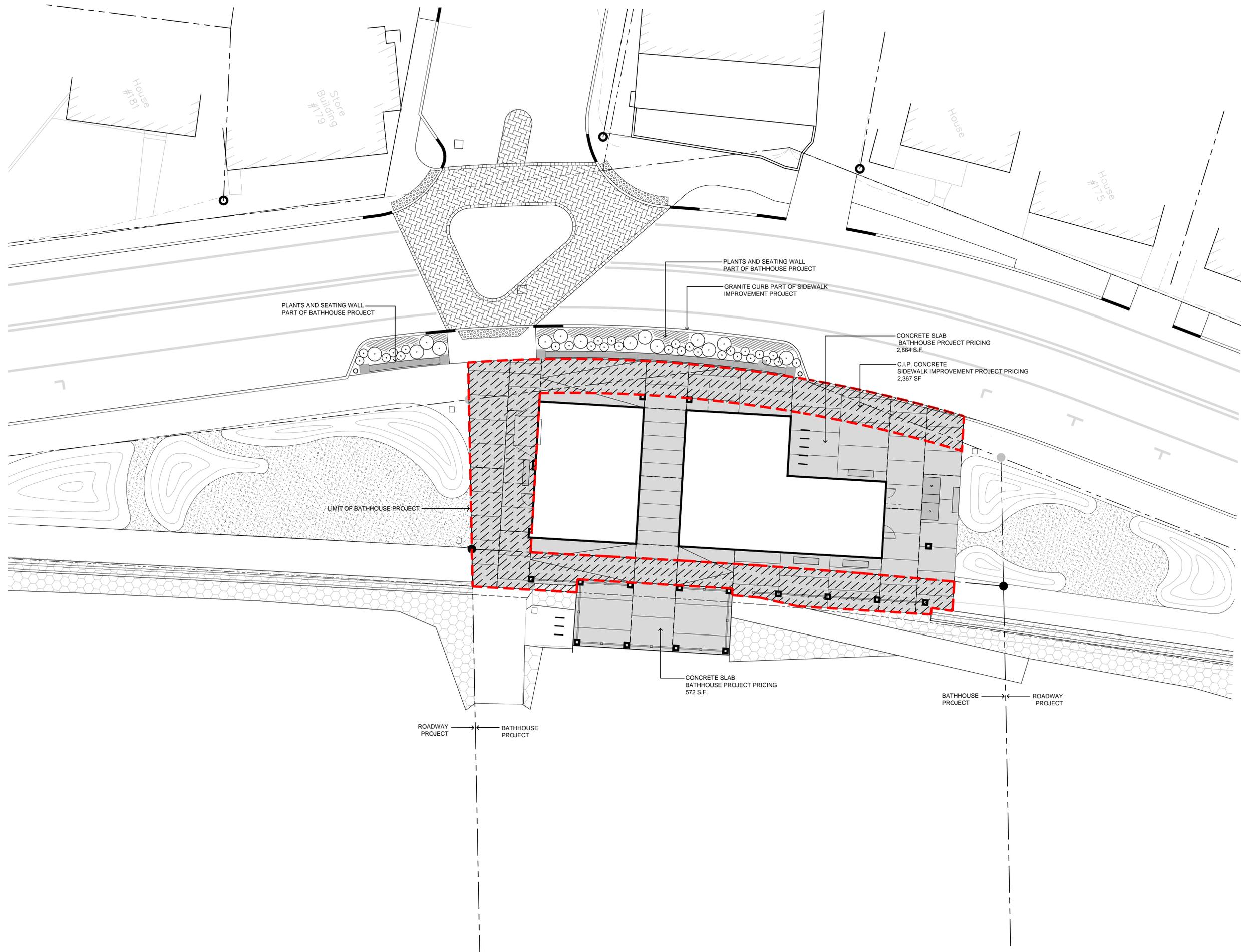
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Title: LANDSCAPE SITE IMPROVEMENT



North:

Sheet No.: **A1**



Owner / Applicant:
 Town of York
 186 York Street
 York, Maine 03909

Prepared By:
Mitchell & Associates
 LANDSCAPE ARCHITECTS
 The Staples School
 70 Center Street
 Portland, Maine 04101 P: 207.774.4427 F: 207.874.2460

LONG SANDS BEACH BATHHOUSE

York, Maine

Long Beach Ave.

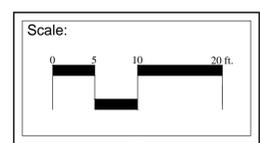
Date: JULY 7, 2016

Issued For: REVIEW

Revisions:
 FINAL PLAN REVIEW 8/11/16
 0 - ISSUED FOR BID 10/04/16
 ADDENDUM #2 10/13/16

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Title:
 UNIT PRICING
 SECTION 00 43 22



North:

Sheet No.: **A2**

SECTION 012200 - UNIT PRICES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.

1.2 DEFINITIONS

- A. Unit price is a price per unit of measurement for materials, equipment, or services, or a portion of the Work, which may be added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.3 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections, and in Part 3, below.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

1.4 INCIDENTAL ITEMS

- A. Incidental work items for which separate payment is not measured include, but are not limited to, the following items:
 - 1. Dust Control;
 - 2. Traffic Control;
 - 3. Decontamination of equipment, tools and personnel;
 - 4. Proper disposal of decontamination byproducts;
 - 5. Dewatering;
 - 6. Clean-up;
 - 7. Loaming, seeding and mulching of areas which are disturbed/cleared and no cover systems are installed;

8. Seeding and raking of areas disturbed by non-project specific items (i.e. truck parking, storage of materials, stockpiles, etc.);
9. Restoration of property;
10. Utility crossings and relocations;
11. Maintenance of material stockpiles;
12. Minor items such as replacement of fences, mailboxes, guard rails, signs, rock walls, steps, etc.;
13. Project record drawings;
14. Trench excavation protection to meet applicable safety standards;
15. Utility coordination;
16. Salvaging material as noted, and transporting salvaged materials to designated location;
17. Maintenance of stormwater, potable water, and sanitary sewer flows;
18. Maintenance and safeguarding of utility poles during construction;
19. Shoring, bracing, support and protection of utilities as required;
20. Maintenance, protection and reestablishment of property pins and survey markers disturbed by the Contractor;
21. Protection of utilities;
22. Protection of trees to remain;
23. Development and submission of site specific Health and Safety Plan (HASP);
24. Temporary facilities including sanitary conveniences; and
25. Required project funding signage.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES – BATHHOUSE CONSTRUCTION

A. Unit Price No. 1: Mobilization and Demobilization

1. Description: Mobilization and demobilization of the necessary labor and equipment to successfully complete Task 1, including Site cleanup. Obtain necessary permits from and submit required notifications to the City of Gardiner and the State of Maine. Establish temporary facilities and install a construction sign as specified in the Project Documents. The amount of this lump sum shall not exceed five percent of the total bid price of the contract, and no payment shall be made in excess of this amount.
2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

B. Unit Price No. 2: Traffic Control

1. Description: All labor, equipment, tools, and other materials required; for furnishing, installing, maintaining and removing traffic control devices, lights, barricades and warning signals; for maintenance and regulation of traffic; for flaggers and police officers; and for all other work and expense incidental thereto for which payment is not provided under other items.

2. Unit of Measurement: Per Lump Sum.
 3. Anticipated Quantity: One
- C. Unit Price No. 3: Erosion and Sedimentation Control
1. Description: All labor and erosion and sedimentation control devices, equipment, tools, materials, and other materials required for erosion control, as required by the Contract Documents and the Maine Department of Environmental Protection Erosion and Sedimentation Control BMP's Manual (latest edition); for ongoing maintenance and repair; inspection prior to and after precipitation events; upgrade; removal and restoration of BMP's as required; and for all other work and expense, incidental thereto, for which payment is not provided under other items. Contractor shall provide Erosion and Sedimentation Control Plan to Engineer for approval prior to start of work.
 2. Unit of Measurement: Per Lump Sum.
 3. Anticipated Quantity: One
- D. Unit Price No. 4: Demolition
1. Description: All labor, equipment, tools and other materials required for the demolition of the existing structure and associated site as shown on Demolition Plan; removal and disposal or salvage of all demolition debris and associated fees; salvaging of signs as notes, demolition of basements, foundations, and utilities; management of lead-based paint coated materials in accordance with applicable regulations; backfilling of the foundation holes with common borrow or crushed demolition debris, and grading as needed; for dust control; and for all other work and expense incidental thereto for which payment is not provided under other items.
 2. Unit of Measurement: Per Lump Sum.
 3. Anticipated Quantity: One
- E. Unit Price No. 5: Underground Electric Service
1. Description: All conduit, wiring, fittings, labor, equipment, tools and other materials required for the installation of the underground electric; for dewatering; for excavating earth; for transportation, storage, and disposal of excess material; for bedding; for laying, setting and jointing all pipes and fittings, for backfilling and compaction; for furnishing, transporting, grading and compacting base and subbase aggregates and reclaim course; for maintenance and regulation of traffic; for furnishing, placing and removing all temporary sheeting and bracing; for furnishing materials for and installing riprap outlets; for pipe cleaning and testing; and for all other work and expense incidental thereto for which payment is not provided under other items.
 2. Unit of Measurement: Per Lump Sum.
 3. Anticipated Quantity: One
- F. Unit Price No. 6: 6" Sanitary Piping
1. Description: Furnishing all pipe, fittings, labor, equipment, tools and other materials required for the installation of the pipe; for dewatering; for maintaining existing flows; for excavating earth; for transportation, storage, and disposal of excess material; for bedding; for laying, setting and jointing all pipes and fittings, for

connecting existing drain lines; for backfilling and compaction; for furnishing, transporting, grading and compacting base and subbase aggregates and reclaim course; for maintenance and regulation of traffic; for furnishing, placing and removing all temporary sheeting and bracing; for furnishing materials for and installing riprap outlets; for pipe cleaning and testing; and for all other work and expense incidental thereto for which payment is not provided under other items.

2. Unit of Measurement: Per Lineal Foot.
3. Anticipated Quantity: **45 Linear Feet**

G. Unit Price No. 7: Sanitary Manhole

1. Description: Payment for furnishing and installing manholes complete in place shall be made at the contract unit price per each which shall be full compensation for furnishing all labor; for earth excavation, backfill, and compaction; for transportation, storage, and disposal of excess material; for traffic maintenance and regulation; for furnishing, transporting, and installing precast sections, frames and solid covers, pipe boots, bedding material, concrete, masonry and inverts as specified; for furnishing, transporting, grading and compacting aggregate base and subbase and bituminous concrete binder course; and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per each.
3. Anticipated Quantity: One

H. Unit Price No. 8: 6" Tideflex Valve

1. Description: All valves, fittings, labor, equipment, tools and other materials required for the installation of the valve within the 6" PVC sanitary sewer; for adjustment of the valve to be true, plumb and to grade and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per Each.
3. Anticipated Quantity: One

I. Unit Price No. 9: 2" Water Service

1. Description: All labor, equipment, tools and other materials required for the installation of the 2" water service; for furnishing and installing all piping, fittings, meter pits, as shown on the drawings; for furnishing all materials, equipment, tools, and labor required to make a connection to the existing water distribution system; for backfilling and compaction; for furnishing, transporting, grading and compacting base and subbase aggregates and reclaim course; for maintenance and regulation of traffic; for furnishing, placing and removing all temporary sheeting and bracing; for furnishing materials for and installing riprap outlets; for pipe cleaning and testing; and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

J. Unit Price No. 10: Concrete Slabs adjacent to Building

1. Description: All the labor, equipment, tools, and other materials required; for excavation, transportation and disposal of existing material to the subgrade surface; for preparation including grading and compaction of the subgrade surface; for furnishing, transporting, placing, and compaction of aggregate, concrete, sand and bricks; and for all other work and expense incidental thereto for which payment is not provided under other items
2. Unit of Measurement: Per Square Yard.
3. Anticipated Quantity: **225 square yards**

K. Unit Price No. 11: Landscaping

1. Description: All labor, tools, materials and equipment required for planting vegetation, complete in place as shown on the plans; for furnishing and installing plantings as shown on the landscape drawings; for maintenance and upkeep prior to final acceptance and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

L. Unit Price No. 12: Hardscaping Elements

1. Description: All labor, tools, materials and equipment required for fabrication, furnishing and installing bike racks, complete in place as shown on the plans; for furnishing and installing granite benches, complete in place as shown on the plans; for furnishing and installing seating walls, complete in place as shown on the plans; for furnishing and installing wash stations; for furnishing and installing pay stations, complete in place as shown on the plans; for furnishing and installing Type F catch basin inlets for drainage adjacent to the hardscape areas, as shown on the drawings; for field adjustment; for all stainless steel fasteners and galvanized hardware and fittings as required; for drilling of concrete; for installation and transportation; for maintenance and cleaning prior to final acceptance and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

M. Unit Price No. 13: Building Construction

1. Description: All labor, equipment, tools, personnel and all materials required for the installation of the building including foundations, footings, walls, interior partitions, windows and doors; for furnishing and providing labor for the installation of all paint, trim, and other interior finishes; for maintenance and cleaning prior to final acceptance and for all other work and expense incidental thereto for which payment is not provided under other items
2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

N. Unit Price No. 14: Plumbing

1. Description: All labor, equipment, tools, personnel and all materials required for furnishing and installing all piping and ductwork associated with the plumbing

interior to the building as shown on the architectural drawings; for furnishing and installing all fittings; for testing; and for all other work and expense incidental thereto for which payment is not provided under other items.

2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

O. Unit Price No. 15: Electrical

1. Description: All labor, equipment, tools, personnel and all materials required for furnishing and installing all conduit and wiring associated with the electrical work interior to the building as shown on the architectural drawings; for furnishing and installing all fittings and connections; for testing; and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

P. Unit Price No. 16: Dewatering

1. Description: For furnishing all labor, tools, equipment and materials to provide dewatering as required for the safe and timely project construction and maintenance of excavations throughout the construction timeline; for furnishing, installing, dewatering, maintenance and removal of required sheet piling or coffer dams; furnish pumps, suction and discharge piping; maintenance of discharge area; furnishing and installation of well points if required; installation and maintenance of groundwater pumps as required; for base flow and storm water flow diversion; and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

Q. Unit Price No. 17: Salvage Value

1. Description: Half (1/2) of the value of scrap metal salvaged and materials sold from the demolition of the building shall be applied as a credit to the overall project cost. Contractor to present this cost on Section 004322 "Unit Price Form" as a negative number and an overall reduction on the proposed project cost.
2. Unit of Measurement: Per Lump Sum.
3. Anticipated Quantity: One

3.2 SCHEDULE OF UNIT PRICES – MASTER PLAN CONSTRUCTION ITEMS

A. Unit Price No. 18: Remove and Reset Granite Curb

1. Description: All the granite curb, labor, equipment, tools, and other materials required; for removing existing curbing from the sidewalk, cutting, stockpiling, protecting, transporting, and resetting granite curb; for furnishing, transporting, grading, and compacting bedding material; for concrete joint material; for geotextile fabric; for furnishing, transporting, grading, and compacting subbase and base aggregates; for gravel backing behind the granite curb; for curb transitions and tip downs and for all other work and expense incidental thereto for which payment is not

provided under other items. Work in this item shall be in accordance with MeDOT Specification Section 609.08.

2. Unit of Measurement: Per Lineal Foot.
3. Anticipated Quantity: **120 Linear Feet**

B. Unit Price No. 19: New Granite Curb

1. Description: All the granite curb, labor, equipment, tools, and other materials required; for furnishing, cutting, stockpiling, protecting, transporting, and installing granite curb including radius curb; for furnishing, transporting, grading, and compacting bedding material; for concrete joint material; for geotextile fabric; for furnishing, transporting, grading, and compacting subbase and base aggregates; for gravel backing behind the granite curb; for curb transitions and tip downs and for all other work and expense incidental thereto for which payment is not provided under other items. Work in this item shall be in accordance with MeDOT Specification Section 609.03.
2. Unit of Measurement: Per Lineal Foot.
3. Anticipated Quantity: **120 Linear Feet**

C. Unit Price No. 20: Concrete Sidewalks and Ramps

1. Description: All the labor, equipment, tools, and other materials required; for excavation, transportation and disposal of existing material to the subgrade surface; for preparation including grading and compaction of the subgrade surface; for furnishing, transporting, placing, and compaction of aggregate, concrete, sand and bricks; and for all other work and expense incidental thereto for which payment is not provided under other items
2. Unit of Measurement: Per Square Yard.
3. Anticipated Quantity: **315 square yards**

D. Unit Price No. 21: Seawall Reconstruction

1. Description: All labor, tools, materials and equipment required to reconstruct the seawall as shown on the drawings; shall include all pedestals for reinforcement, anchors, sleeves for safety fence posts, grout for adhering fieldstone Installing and stripping concrete forms, for furnishing, placing and finishing concrete; and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per Lineal Foot.
3. Anticipated Quantity: **150 Linear Feet**

E. Unit Price No. 22: Electrical Conduit

1. Description: Furnishing all pipe, fittings, labor, equipment, tools and other materials required for the installation of the conduit; for transportation, storage, and disposal of excess material; for bedding; for laying, setting and jointing all pipes and fittings; for backfilling and compaction;; and for all other work and expense incidental thereto for which payment is not provided under other items.
2. Unit of Measurement: Per Lineal Foot.
3. Anticipated Quantity: **300 Linear Feet**

END OF SECTION 012200

SECTION 32 14 13

PRECAST CONCRETE UNIT PAVING

PART 1 GENERAL

1.1 DESCRIPTION:

- A. Bidding requirements, conditions of the contract and pertinent portions of sections in Division One of these specifications, apply to the section as fully as though repeated herein.
- B. Work under this section includes furnishing and installing truncated dome precast concrete unit pavers.
- C. Related work:
 - 1. Section 31 05 12, Site Earthwork.
 - 2. Section 32 12 16, Asphalt Paving.

1.2 SUBMITTALS:

- A. General: Submit the following in accordance with Conditions of Contract and Division 1 Specification Sections.
 - 1. Product data for truncated dome precast concrete unit pavers and selected unit pavers.

1.3 DELIVERY:

- A. Package, handle, deliver and store precast concrete unit pavers and access truncated dome pavers at the project site in a manner that will avoid damage.

PART 2 PRODUCTS

2.1 MANUFACTURER:

- A. Precast concrete unit pavers for sidewalk/plaza shall be "Tradeport Stone Antique" color to be Granite Blend, (see drawings) as provided by Genest, Wilson Street, Sanford, Maine 04073 1-800-649-4773, or equal. Product of other manufacturers may be considered subject to compliance with the requirements as judged by the Landscape Architect, and or Owner's Representative.
- B. Precast concrete unit pavers for designated Bathhouse Pass Through area shall be "Portland Plank" color shall be Granite Blend, Finish Blended, (see drawings) as provided by Genest, Wilson Street, Sanford, Maine 04073 1-800-649-4773, or equal. Product of other manufacturers may be considered subject to compliance with the requirements as judged by the Landscape Architect, and or Owner's Representative.
- C. Concrete Paver Joint Sand shall be Gator XP, color Beige, as manufactured by Alliance Designer Products, Inc. www.alliancegator.com and provided by Genest Wilson Street, Sanford, Maine 04073 1-800-649-4773 or approved equal
- D. Paver Edge Restraint system listed as follows as provided by Permaloc Corporation, 13505 Barry Street, Holland, MI 49424.

2.2 MATERIAL:

- A. Pavers for sidewalk/plaza shall be three stone option, All pavers shall be 80mm thick with average minimum compressive strength of 8,000 psi with no individual unit under 7,200 psi, and absorption rate of 5 percent, and shall meet or exceed (ASTM C 936). Paver shall be "Tradeport Stone Antique" color to be Granite Blend".
- B. Pavers for Bathhouse Pass Through shall be 4" x 3 5/8" x 24" nominal. All pavers shall be 80mm thick with average minimum compressive strength of 8,000 psi with no individual unit under 7,200 psi, and absorption rate of 5 percent, and shall meet or exceed (ASTM C 936). Paver shall be "Portland Plank" color to be Granite Blend with Blended Finish".

Concrete Paver Joint Sand shall be Gator XP, color Beige, as manufactured by Alliance Designer Products, Inc. www.alliancegator.com and provided by Genest Wilson Street, Sanford, Maine 04073 1-800-649-4773 or approved equal

- C. Paver Edge Restraint shall be "Permaloc" vertical aluminum interlocking edge restraint system 3" x 3", Mill Finish, 8' lengths. Anchors shall be Heavy Duty 12" stakes.

PART 3 EXECUTION

3.1 INSTALLATION:

- A. Base shall be compacted bituminous paving, or compacted gravel as indicated on Drawings, set to 5-1/2 inches below desired finished grade. The concrete sand setting bed shall be screeded loose to a thickness of 1-1/2 inches. After sand has been screeded, it shall not be disturbed or pre-compacted.
- B. Pavers shall be laid in a running bond pattern or as indicated on the Drawings, hand tight with care taken to maintain straight and true lines as shown on the Drawings. All necessary cutting shall be accomplished with a masonry saw.
- C. Compaction: After the area of pavers is placed, it should be compacted with a vibrating plate compactor, with a 5000 lbs. (22kN) centrifugal compaction force and as required by manufactures requirements (**Refer to manufacture requirements**). We recommend using a mat fastened to the vibrating plate to compact the pavers. At least two passes should be made across the pavers to seat them in the bedding sand. Make sure the pavers' side and top surfaces are dry before applying the polymeric sand.
- D. Paver Joint Sand:
 - 1. Spread **Gator XP Sand** over the pavers then use a hard bristle brush to sweep the sand into the joints and filling them completely. Run a vibrating plate over the pavers in several directions to compact the sand inside the joints (this action is not appropriate for slabs). Repeat this step (spreading the sand, then compacting) at least two more times. If a vibrating plate compactor cannot be used, tamp the stones with a rubber mallet and make sure that the **Gator XP Sand** is densely packed in the joints.
 - 2. Using a leaf blower, blow off all **Gator XPSand** residues lying on the paver surface. Depending on the physical layout present, it may be more appropriate to remove the residue by using a vacuum unit.

3. First Phase: At a height of 4 feet (1.2 meter), use a water gun connected to a hose to direct a fine mist (setting of water gun: "mist" or equivalent) of water on a certain paver area for 10 to 15 seconds. Wait 3 to 4 minutes (not longer). Proceed to Second Phase.
4. Second Phase: From a height of 2 feet (0.6) meter, aim the water mist directly at the paver surface. Mist and rinse simultaneously so as to eliminate and **Gator XP Sand** residue left on the pavers. The **Gator XP Sand** residue should go directly into the paver joints. Wait 3 to 4 minutes (not longer). Proceed to Third Phase.
5. Third Phase: From a height of 2 feet (0.6 meter), aim the water mist again directly at the paver surface. Again, mist and rinse simultaneously so as to eliminate any **Gator XP Sand** residue left on the pavers. The **Gator XP Sand** residue should go directly in the paver joints. However, stop misting (ALERT) when you see a minimal amount of water retention on the joints. Repeat the directions of step 4, 5, & 6 for all other areas that have not been misted with water.

3.2 INSPECTION:

- A. Surface tolerance: Upon completion of a section of pavers, the surface of the pavers shall be checked with a ten (10) foot straight edge. Variation exceeding 1/8 inch between adjacent stones shall be corrected by relaying.

3.3 CLEAN-UP:

- A. Use a leaf blower to remove excess surface water that is lying in the pores and crevices of the pavers. This blowing action is necessary to help remove any remaining **Gator XP Sand** residue that was left on the paver surface from the previous steps. Depending on the physical layout present, it may be more appropriate to remove remaining residue with a vacuum unit.

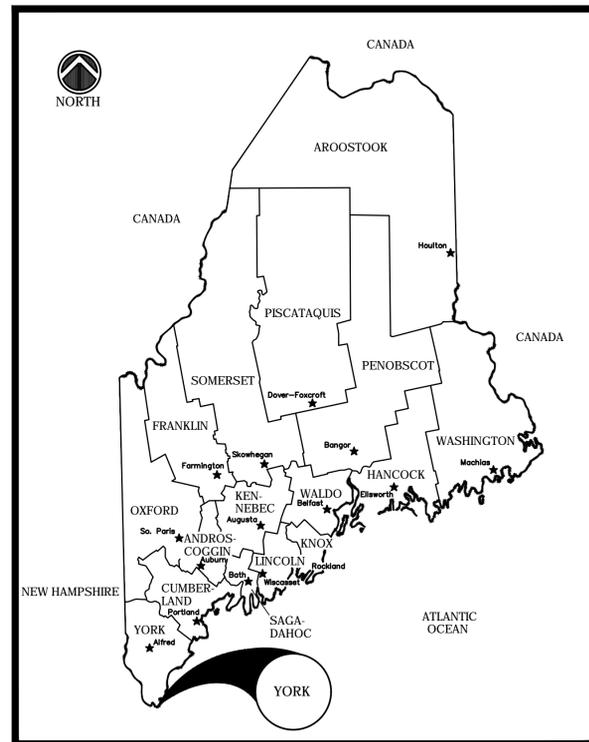
END OF SECTION

LONG SANDS BEACH BATHHOUSE LONG BEACH AVENUE YORK, MAINE

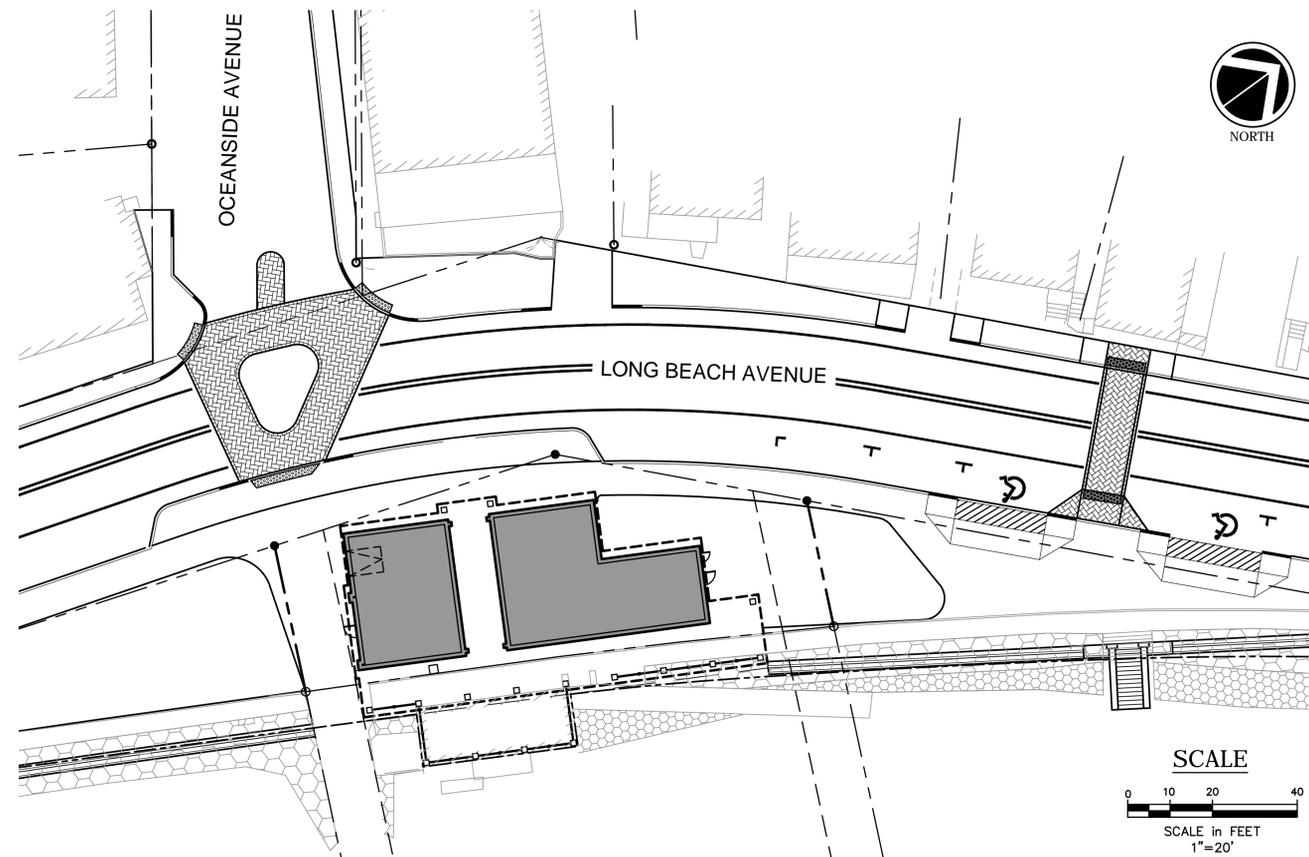
PREPARED BY:



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LOCATION MAP
NOT TO SCALE



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PLAN NOTES

AMENDMENTS. ANY AMENDMENT OF THIS PLAN SHALL REQUIRE PRIOR APPROVAL OF THE PLANNING BOARD. EXCEPT AS NOTED UNDER "FIELD CHANGES" AMENDMENTS REQUIRE FORMAL APPLICATION TO THE BOARD, PER §5.6 OF THE TOWN'S SITE AND SUBDIVISION REGULATIONS.

FIELD CHANGES. DURING CONSTRUCTION, THE APPLICANT MAY PROPOSE FIELD CHANGES NECESSARY TO CORRECT MINOR CONSTRUCTION-RELATED ERRORS ON THE DESIGN PLANS OR TO ACCOUNT FOR UNEXPECTED SITE CONDITIONS. FIELD CHANGES SHALL BE PREPARED IN WRITING AND CERTIFIED BY THE APPLICANT'S PROFESSIONAL ENGINEER (WHERE APPROPRIATE), AND SHALL BE PRESENTED TO THE PLANNING BOARD. FIELD CHANGES SHALL BE LIMITED TO CHANGES THAT DO NOT MATERIALLY ALTER THE VISUAL APPEARANCE OF THE PROJECT (SUCH AS BUT NOT LIMITED TO BUILDING DESIGN, LANDSCAPE DESIGN, OUTDOOR LIGHTING, ETC.) AND THAT DO NOT MATERIALLY ALTER THE APPROVED DESIGN OF THE PROJECT (SUCH AS BUT NOT LIMITED TO LAYOUT, TRAFFIC CIRCULATION, STORMWATER DRAINAGE, ETC.). THE BOARD SHALL CONSIDER THE FIELD CHANGE DURING "FIELD CHANGES" AT ITS NEXT MEETING, AND SHALL EITHER ACCEPT OR REJECT IT. CONSTRUCTION MUST COMPLY WITH THE DECISION OF THE BOARD. WORK BASED ON A FIELD CHANGE THAT IS DENIED SHALL BE REMOVED.

BLASTING. BLASTING SHALL BE PERFORMED BY A MAINE-LICENSED BLASTING CONTRACTOR IN ACCORDANCE WITH APPLICABLE STATE REQUIREMENTS. BLASTING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE TOWN NOISE ORDINANCE. A MINIMUM OF THREE DAYS PRIOR TO BLASTING, THE POLICE DEPARTMENT, FIRE DEPARTMENT AND ALL ADJACENTS TO THIS PROJECT SHALL BE NOTIFIED.

CONSTRUCTION DEBRIS. NO CONSTRUCTION OR DEMOLITION DEBRIS, STUMPS, OR OTHER WASTES GENERATED DURING SITE WORK OR BUILDING CONSTRUCTION SHALL BE DISPOSED OF ON-SITE.

PRE-CONSTRUCTION MEETING. NO CONSTRUCTION SHALL COMMENCE UNTIL A PRE-CONSTRUCTION MEETING IS HELD BETWEEN TOWN STAFF, THE TOWN'S INSPECTION ENGINEER, THE DEVELOPER, REPRESENTATIVES OF EACH DESIGN PROFESSIONAL WHO CERTIFIED ANY OF THE PLANS, AND THE CONTRACTOR. PRIOR TO SCHEDULING THIS MEETING, THE APPLICANT SHALL:

- PROVIDE TO THE TOWN FOUR PLAN SETS, AS APPROVED AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS.
- PROVIDE EVIDENCE THAT ANY TREES TO BE PROTECTED ON THE SITE HAVE BEEN MARKED BY THE LANDSCAPE ARCHITECT; AND
- HAVE PAID THE PERFORMANCE GUARANTEE AND OR AN INSPECTION FEE.
- HAVE PAID ANY OUTSTANDING FEES INCURRED DURING THE REVIEW PROCESS.

BUILDING PERMITS. BUILDING PERMITS SHALL BE ISSUED IN ACCORDANCE WITH THE FOLLOWING:

- NO PERMIT SHALL BE ISSUED UNTIL A PROJECT PRE-CONSTRUCTION MEETING HAS OCCURRED.
- BUILDING PERMITS SHALL BE ISSUED SUBJECT TO THE TOWN'S STANDARD EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.
- WHEN LOT LINES ARE TO BE CHANGED OR NEW LOTS CREATED NO PERMIT SHALL BE ISSUED UNTIL THE SURVEYOR PROVIDES A CERTIFICATE OF MONUMENT INSTALLATION VERIFYING THAT ALL SURVEY MONUMENTATION SHOWN ON THE PLAN HAS BEEN INSTALLED.

ARCHEOLOGICAL FINDINGS. IF, DURING EXCAVATIONS, ANY ARCHEOLOGICAL FINDINGS ARE UNCOVERED, ALL WORK SHALL STOP AND THE STATE ARCHEOLOGIST BE CONSULTED, AND MAY COMMENCE AGAIN ONLY AFTER CONSERVATION OF THE RESOURCES IS ADDRESSED TO THE SATISFACTION OF THE STATE ARCHEOLOGIST.

OCCUPANCY PERMITS. THE APPLICANT SHALL BE REQUIRED TO PROVIDE TO THE CEO AND PLANNING BOARD A CERTIFICATION OF COMPLETION FROM EACH STATE-LICENSED DESIGN PROFESSIONAL (PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT) WHO CERTIFIED ANY DESIGN-COMPONENT OF THIS PLAN SET (IDENTIFY EACH HERE IN THE FINAL VERSION OF THE PLAN NOTE). (ANOTHER EQUALLY-QUALIFIED LICENSED PROFESSIONAL MAY PROVIDE THE CERTIFICATION IF SO AUTHORIZED BY THE PLANNING BOARD.) THE CERTIFICATION SHALL BE A REPORT THAT STATES WHETHER OR NOT THE PROJECT HAS BEEN BUILT IN FULL COMPLIANCE WITH THE APPROVED PLANS, AND IDENTIFIES ANY AREAS WHERE THE ACTUAL CONSTRUCTION DEVIATES FROM THE APPROVED PLANS. EACH DESIGN PROFESSIONAL SHALL ATTEST ONLY TO THOSE ASPECTS OF THE PLAN FOR WHICH THEY ARE RESPONSIBLE FOR THE DESIGN (FOR EXAMPLE, THE PROFESSIONAL ENGINEER ATTESTS ONLY TO ENGINEERING-RELATED ISSUES, THE ARCHITECT ATTESTS ONLY TO ARCHITECTURAL ISSUES, AND SO FORTH). THIS CERTIFICATION SHALL BE CERTIFIED BY STAMP AND SIGNATURE OF THE PROFESSIONAL. AS THE TOWN IS RELYING ON THE STATE LICENSED PROFESSIONALS TO SELF-POLICE THEIR PROJECTS, ANY MIS-REPRESENTATION IN A CERTIFICATION SHALL BE REPORTED BY THE PLANNING BOARD TO THE RELEVANT STATE LICENSING BOARD.

FINAL OCCUPANCY PERMIT. IN ORDER FOR A FINAL OCCUPANCY PERMIT TO BE ISSUED, THE CERTIFICATION OF COMPLETION MUST INDICATE EACH DESIGN PROFESSIONAL'S EVALUATION THAT THE PROJECT HAS BEEN COMPLETED IN FULL COMPLIANCE WITH THE APPROVED PLANS, AND THE CEO AND/OR TOWN'S INSPECTION ENGINEER MUST CONCUR.

NON-COMPLIANT PROJECTS. IN THE EVENT THERE ARE DIFFERENCES IN THE COMPLETED PROJECT AND THE APPROVED PLANS, THE CERTIFICATION SHALL INDICATE EACH POINT OF DIFFERENCE. IN THIS EVENT, THE PLANNING BOARD SHALL EVALUATE THE SIGNIFICANCE OF THE DIFFERENCE, AND IF THE CHANGES ARE ACCEPTABLE TO THE BOARD, MAY PROVIDE WRITTEN AUTHORIZATION TO THE CEO TO ISSUE A FINAL OCCUPANCY PERMIT. IF THE CHANGES ARE NOT ACCEPTABLE TO THE BOARD, THE BOARD SHALL DECIDE HOW TO RESOLVE THE MATTER.

TEMPORARY OCCUPANCY PERMIT. IN THE EVENT THE APPLICANT SEEKS TO OBTAIN A TEMPORARY OCCUPANCY PERMIT PRIOR TO COMPLETION OF ALL WORK, EACH DESIGN PROFESSIONAL MAY SUBMIT AN INTERIM CERTIFICATION OF COMPLETION WHICH EVALUATES COMPLIANCE OF WORK COMPLETED TO DATE, IDENTIFIES WORK REMAINING, AND ADDRESSES MEANS OF ENSURING TIMELY COMPLETION. THE CEO MAY ISSUE A TEMPORARY OCCUPANCY PERMIT ONLY WHEN ALL WORK TO DATE HAS BEEN CERTIFIED AS FULLY COMPLIANT, AND REMAINING INCOMPLETE WORK WILL NOT ADVERSELY AFFECT PUBLIC HEALTH OR SAFETY. THE TEMPORARY OCCUPANCY PERMIT SHALL BE ISSUED FOR A PERIOD NOT EXCEEDING 6 MONTHS. THE CEO SHALL NOT GRANT ANY EXTENSIONS OR ISSUE SUCH PERMITS FOR LONGER DURATION WITHOUT EXPRESS AUTHORIZATION OF THE PLANNING BOARD.

AS-BUILT PLAN. AN AS-BUILT PLAN SHOWING THE FOOTPRINT OF THE BUILDINGS, PAVED SURFACES AND THE LOCATIONS OF ALL UTILITIES ON THE PROPERTY SHALL BE PROVIDED TO THE CEO PRIOR TO THE ISSUANCE OF THE OCCUPANCY PERMIT. THE AS-BUILT PLAN SHALL BE SUBMITTED IN PAPER FORM, AND IN A DIGITAL FORMAT THAT CAN BE CONVERTED TO THE TOWN'S GIS SOFTWARE.

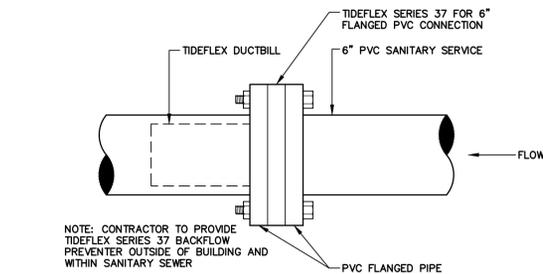
GENERAL NOTES

- SEE LANDSCAPE AND ARCHITECT'S PLANS FOR SOFTSCAPE / HARDSCAPE SITE IMPROVEMENTS.
- SEE ARCHITECT'S PLANS FOR DETAILS OF BUILDING LAYOUT AND ELEVATIONS. BUILDING DIMENSIONS SHOWN ON SITE PLANS ARE APPROXIMATE.
- THE PARKING AND CROSSWALK ARE CONCEPTUAL AND IS SUBJECT TO CHANGE PER BOARD OF SELECTMEN APPROVAL.
- LANDSCAPING OUTSIDE OF PROPERTY BOUNDARIES IS SUBJECT TO CHANGE PER BOARD OF SELECTMEN APPROVAL.
- THE MAINE DEPARTMENT OF TRANSPORTATION NEEDS TO APPROVE AND/OR RELEASE THE ROAD RIGHTS UNDER THE PROPOSED BATHHOUSE IMPROVEMENTS, PRIOR TO A BUILDING PERMIT BEING ISSUED.
- THE WATER SERVICE TO THE BUILDING SHALL INCORPORATE A CONCRETE METER PIT AND 2" WATERPROOF METER INSTALLED WITHIN SIDEWALK. AN RPZ (BACKFLOW PREVENTER) SHALL BE INSTALLED WITHIN THE BUILDING. ALL WORK SHALL BE IN ACCORDANCE WITH THE DISTRICT'S REQUIREMENTS. THE CONTRACTOR SHALL FORMALLY ABANDON THE EXISTING WATER SERVICE IN ACCORDANCE WITH THE YORK WATER DISTRICTS REQUIREMENTS.
- THE CONTRACTOR SHALL ABANDON THE EXISTING SEWER SERVICE IN ACCORDANCE WITH THE YORK SEWER DISTRICTS REQUIREMENTS.
- CONTRACTOR TO COORDINATE WITH ARCHITECTURAL PLANS FOR INVERT OF SEWER SERVICE. CURRENT DESIGN IS BASED ON 4.5' OF COVER FROM FINISH FLOOR ELEVATION OF 14.00, IF PLANS CONFLICT, ARCHITECTURAL PLANS SHALL GOVERN AND SEWER SERVICE INVERTS SHALL BE ADJUSTED AND APPROVED BY THE ENGINEER PRIOR TO ORDERING STRUCTURES OR INSTALLATION OF PIPE.

ZONING DATA

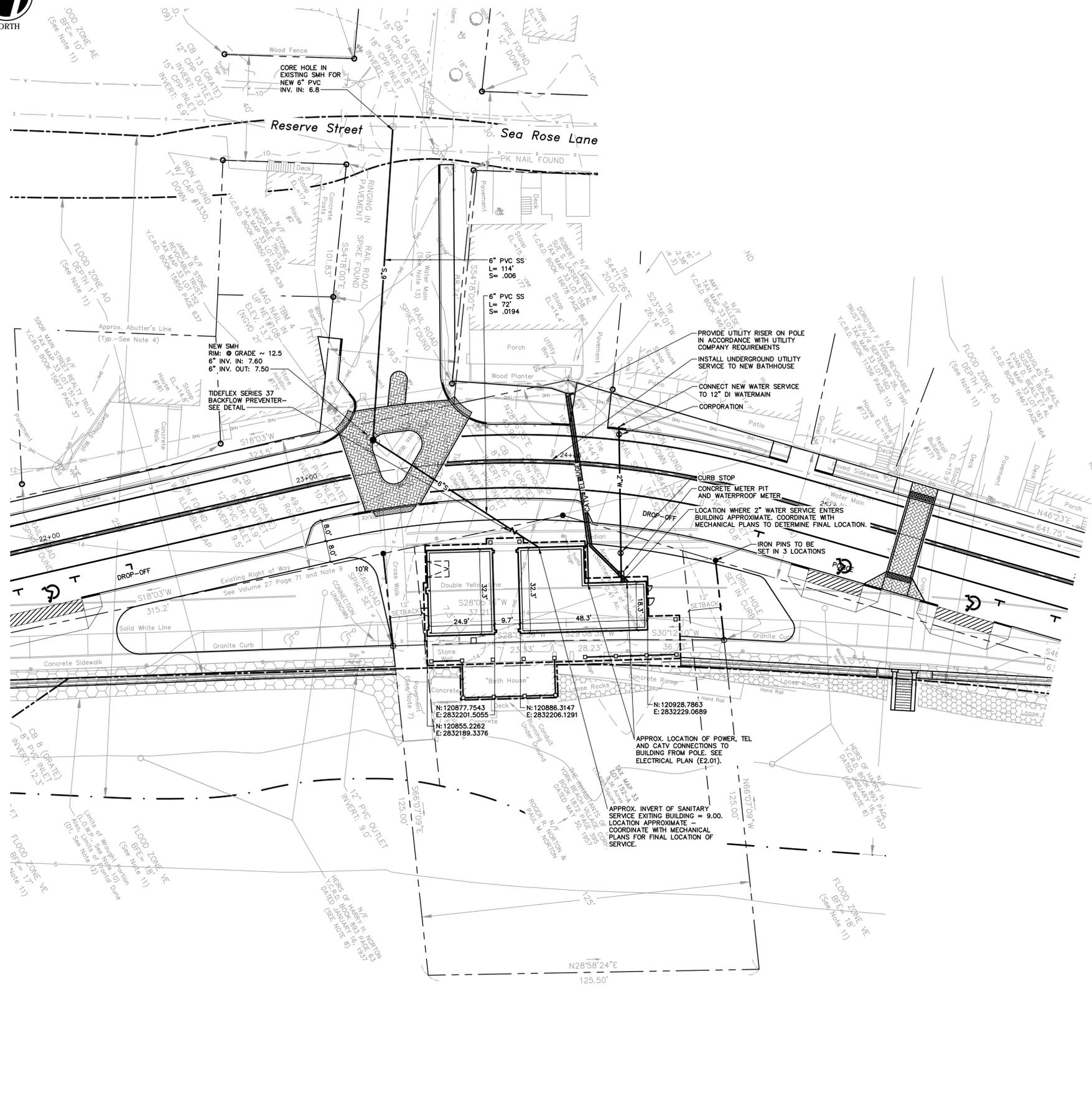
BASE ZONE: RESIDENTIAL 7 (RES 7)
(FUNCTIONALLY WATER DEPENDENT USE)

- BASE ZONE REQUIREMENTS:
- MIN. LAND AREA: 12,000 S.F.
 - MIN. STREET FRONTAGE: 100 FT.
 - MIN. LOT DEPTH: NONE
 - MIN. FRONT YARD SETBACK: 0 FT.
 - MIN. REAR YARD SETBACK: 12 FT.
 - MIN. SIDE YARD SETBACK: 12 FT.
 - MAX. COVERAGE (IMPERVIOUS SURFACE RATIO) 20%
 - MAX. BUILDING HEIGHT: 35 FT.

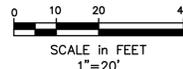


BACKFLOW PREVENTER DETAIL

NOT TO SCALE



SCALE



Site:
LONG SANDS BEACH BATHHOUSE
LONG BEACH AVENUE
YORK, MAINE

Prepared for:
TOWN OF YORK
186 YORK STREET
YORK, MAINE 03909



CIVIL ENGINEER:
STEPHEN J. BRADSTREET, PE #5740
400 COMMERCIAL STREET, SUITE 404
PORTLAND, ME 04101
207-772-2891



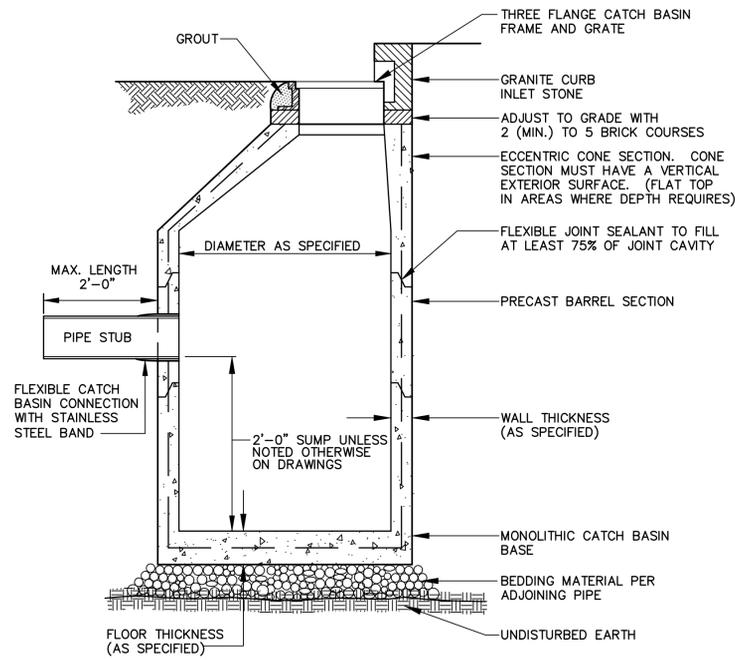
400 Commercial Street, Suite 404
Portland, ME 04101
Tel. (207) 772-2891
Tel. (207) 772-3248
www.ransomenv.com

SITE LAYOUT AND UTILITY PLAN

O	ISSUED FOR BIDDING	10/04/16
C	CONDITIONS OF APPROVAL	9/22/16
B	FINAL REVIEW	08/11/16
A	PRELIMINARY REVIEW	07/07/16

No.	Revision/Issue	Date
Design by:	SJB	Checked by: SJB
Drawn by:	JAR	Approved by: SJB
Project:	151.06011	Date: JUNE 2016

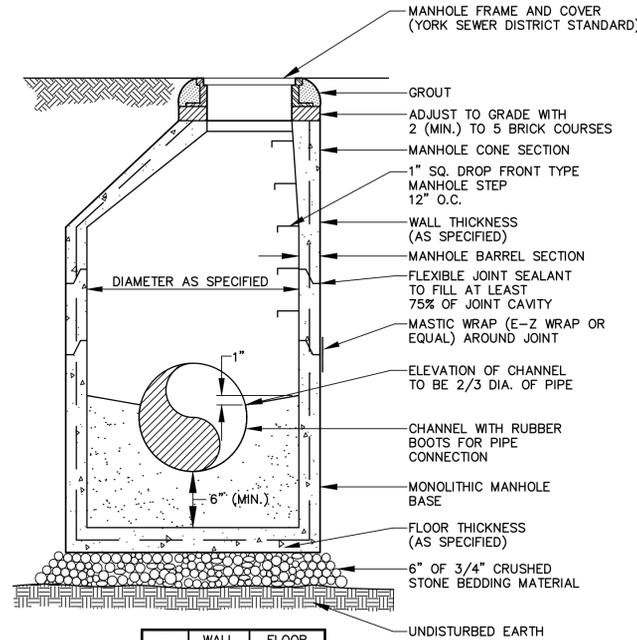
Sheet No:
C-101
Sheet 4 of 9



I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	6"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	8"
10'-0"	10"	9"

PRECAST GRANITE CURB INLET

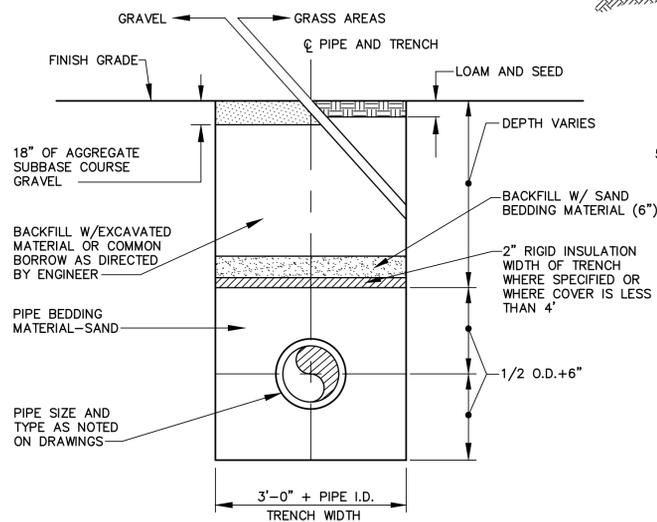
NOT TO SCALE



I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	6"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	8"
10'-0"	10"	9"

PRECAST CONCRETE SANITARY MANHOLE

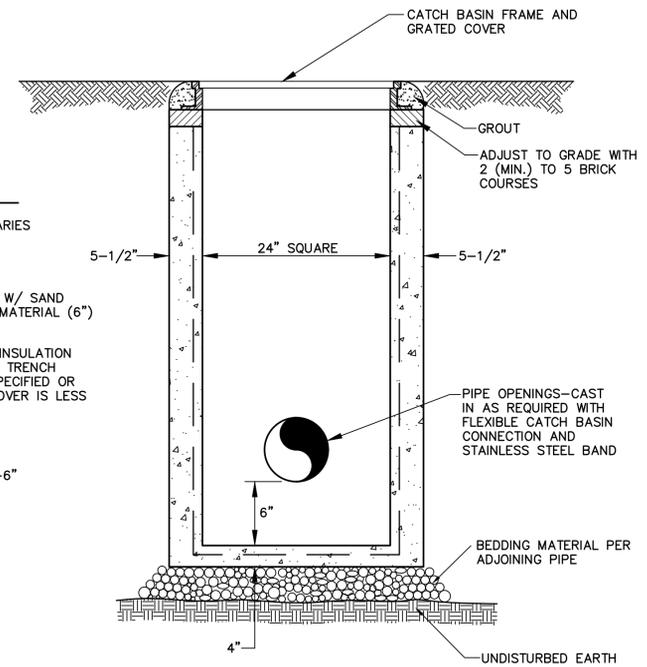
NOT TO SCALE SHALL MEET YORK SEWER DISTRICT STANDARDS



1. SAND BACKFILL AND RIGID INSULATION AS REQUIRED.

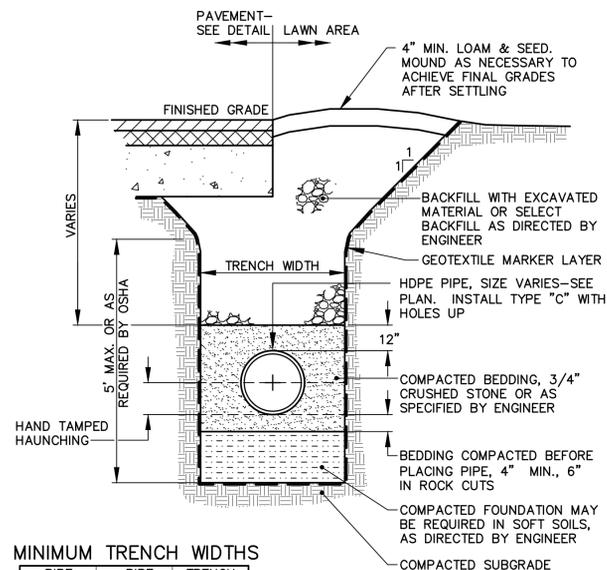
WATER TRENCH SECTION

NOT TO SCALE



PRECAST CONCRETE CATCH BASIN-TYPE "F"

NOT TO SCALE



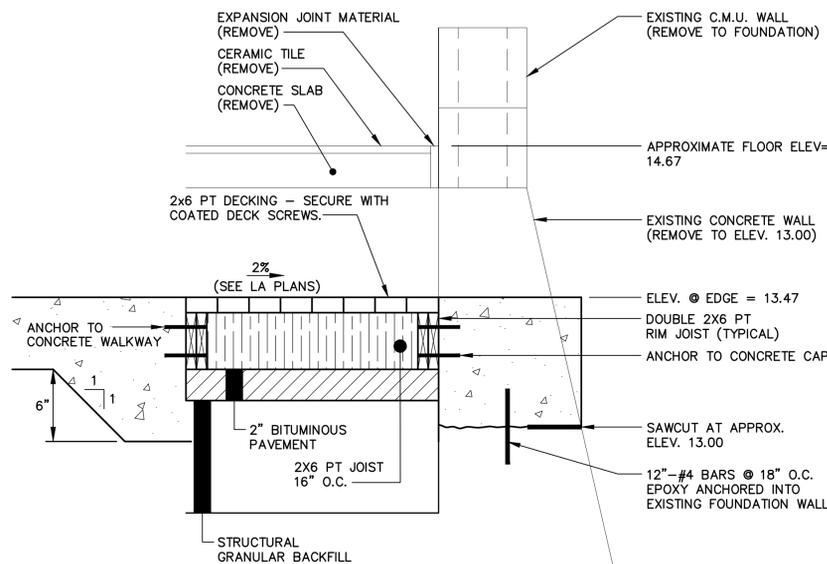
MINIMUM TRENCH WIDTHS

PIPE DIA.	PIPE O.D.	TRENCH WIDTH
12"	14.45"	31"
15"	17.65"	34"
18"	21.10"	39"
24"	28.30"	48"
30"	36.10"	66"
36"	42.25"	78"
42"	47.00"	83"
48"	53.00"	89"
60"	66.30"	102"

- NOTES:
- WHERE TRENCHES PENETRATE DETENTION BASIN EMBANKMENTS OR OTHER SUCH SPECIAL SECTIONS, BACKFILL SHALL CONFORM TO THEIR REQUIREMENTS.
 - INSTALL WATER STOPS EVERY 100' OR AS NECESSARY TO PREVENT FINES FROM MIGRATING.
 - TRENCH WIDTH SHALL BE WIDE ENOUGH TO ACCOMMODATE COMPACTION EQUIPMENT.

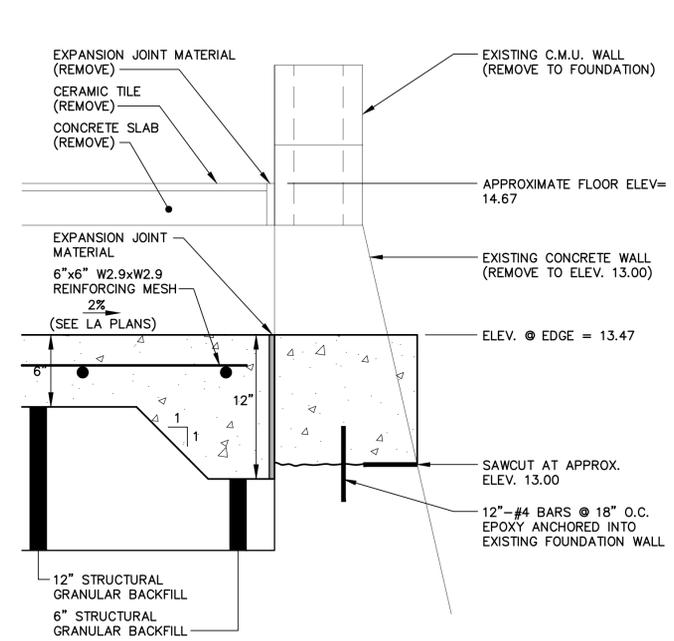
STORM/SANITARY PIPE TRENCH

NOT TO SCALE



BASE BID: WOOD DECK/WALL CONNECTION DETAIL

SCALE: N.T.S.



ALTERNATE BID: SLAB / WALL CONNECTION DETAIL

SCALE: N.T.S.

LONG SANDS BEACH BATHHOUSE

LONG BEACH AVENUE
YORK, MAINE

Prepared for:

TOWN OF YORK
186 YORK STREET
YORK, MAINE 03909



CIVIL ENGINEER:
STEPHEN J. BRADSTREET, PE #5740
400 COMMERCIAL STREET, SUITE 404
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207-772-2891



400 Commercial Street, Suite 404
Portland, ME 04101
Tel. (207) 772-2891
Fax (207) 772-3248
www.ransomenv.com

CONSTRUCTION DETAILS

O	ISSUED FOR BIDDING	10/04/16
C	CONDITIONS OF APPROVAL	9/22/16
B	FINAL REVIEW	08/11/16
A	PRELIMINARY REVIEW	07/07/16

No.	Revision/Issue	Date
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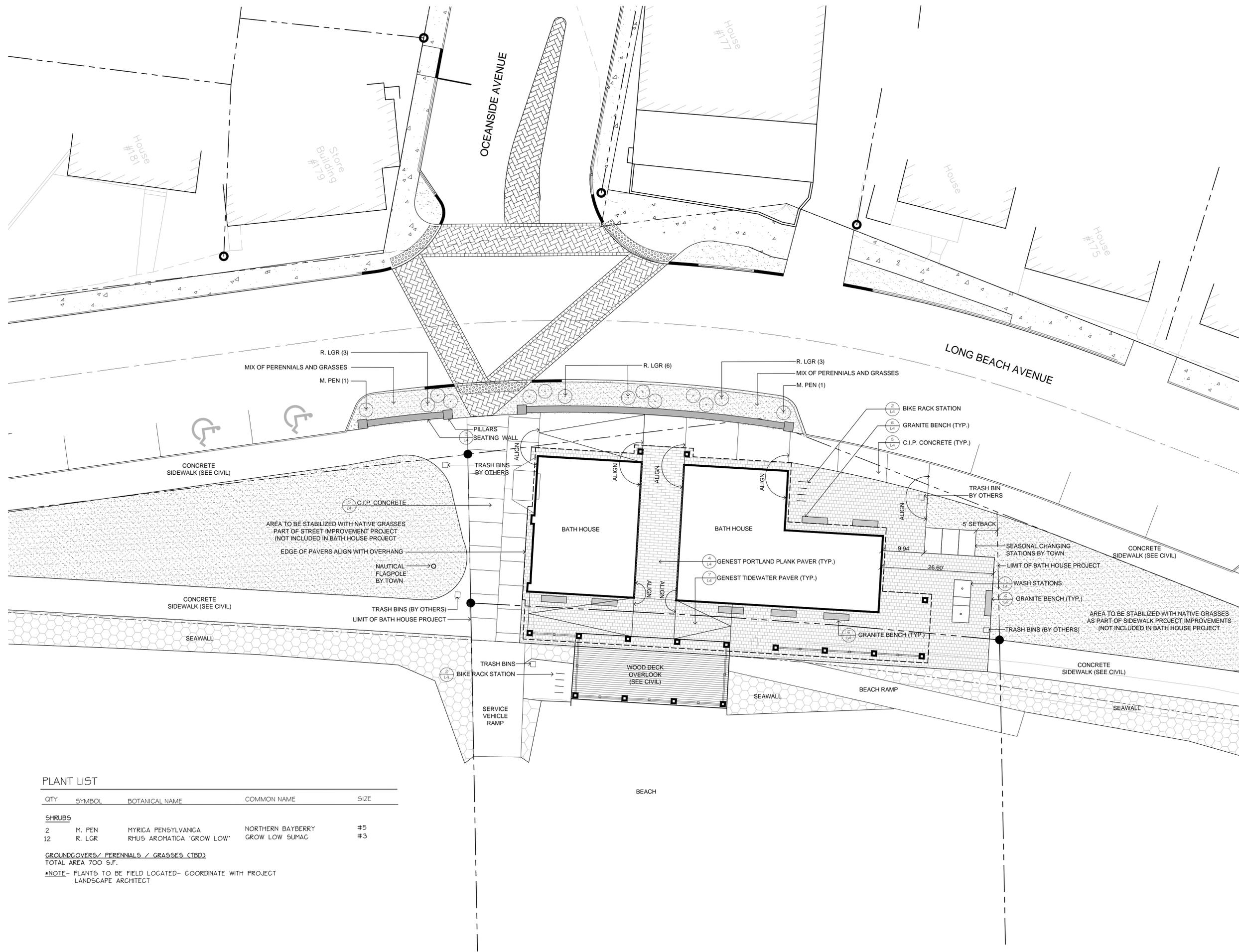
Design by:	SJB	Checked by:	SJB
Drawn by:	JAR	Approved by:	SJB

Project:	151.06011	Date:	JUNE 2016
----------	-----------	-------	-----------

Sheet No:

C-105

Sheet 8 of 9



Owner / Applicant:

Town of York
186 York Street
York, Maine 03909

Prepared By:

Mitchell & Associates
LANDSCAPE ARCHITECTS

The Staples School
70 Center Street
Portland, Maine 04101 P: 207.774.4427
F: 207.874.2460

LONG SANDS BEACH BATH HOUSE

York, Maine

Long Beach Ave.

Date:

JULY 7, 2016

Issued For:

REVIEW

Revisions:

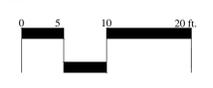
FINAL PLAN REVIEW 8/11/16
0 - ISSUED FOR BID 10/04/16
ADDENDUM #2 10/13/16

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Title:

LANDSCAPE
SITE IMPROVEMENT

Scale: 1"=10'



North:



Sheet No.:

L1

PLANT LIST

QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS				
2	M. PEN	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	#5
12	R. LGR	RHUS AROMATICA 'GROW LOW'	GROW LOW SUMAC	#3

GROUNDCOVERS / PERENNIALS / GRASSES (TBD)

TOTAL AREA 700 S.F.

*NOTE- PLANTS TO BE FIELD LOCATED- COORDINATE WITH PROJECT LANDSCAPE ARCHITECT

Owner / Applicant:

Town of York
186 York Street
York, Maine 03909

Prepared By:

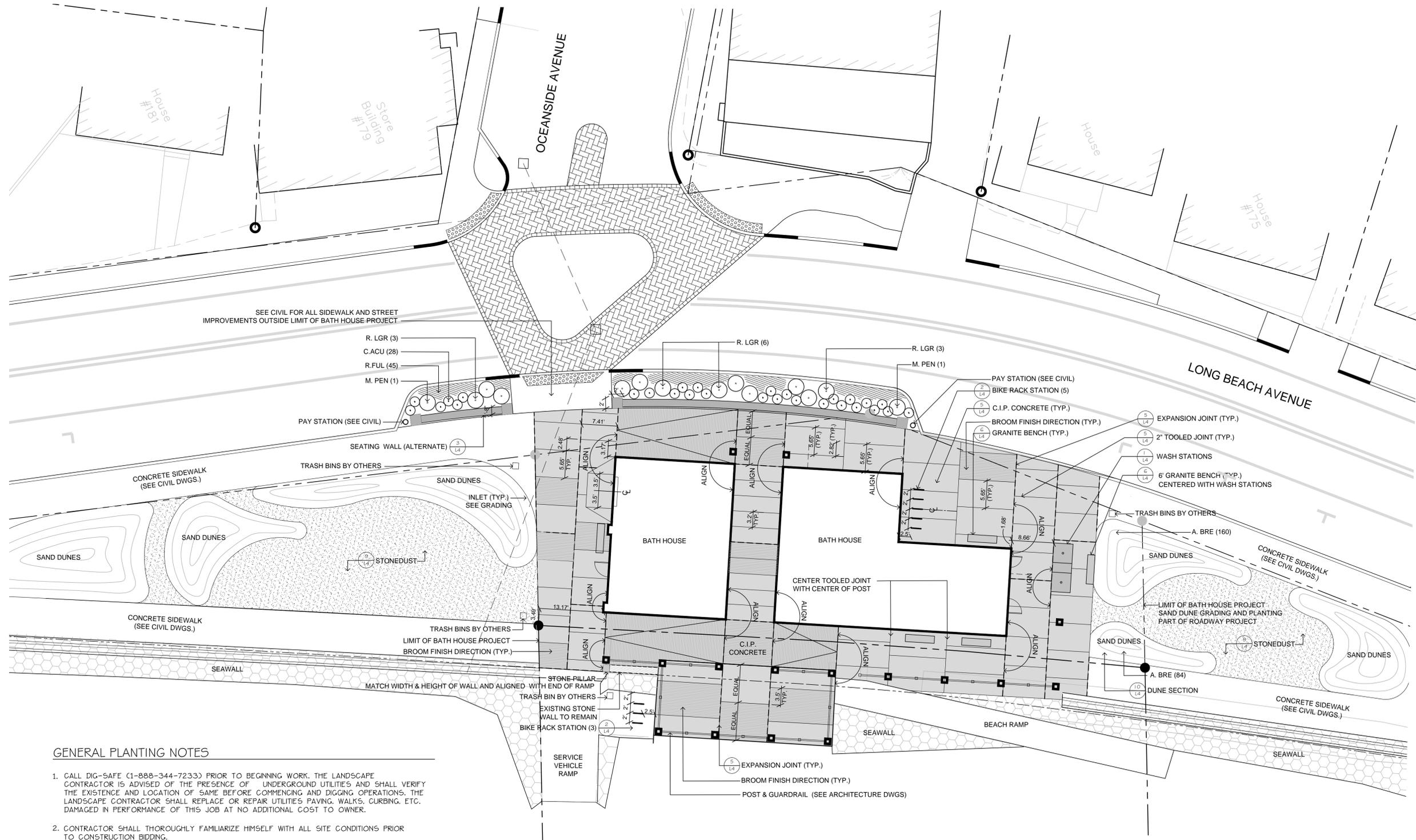
Mitchell & Associates
LANDSCAPE ARCHITECTS

The Staples School
70 Center Street
Portland, Maine 04101 P: 207.774.4427
F: 207.874.2460

LONG SANDS BEACH BATHHOUSE

York, Maine

Long Beach Ave.



GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- ALL PLANTING AREAS TO BE ROTOTILLED TO A MINIMUM DEPTH OF 6 INCHES - IN AREAS WITH EXISTING TREES THE SOIL SHALL BE TURNED OVER BY HAND TO MINIMIZE ROOT DISTURBANCE.
- APPLY A MINIMUM OF 3 INCHES OF COMPOST INTO THE SOIL TO PROVIDE A UNIFORM MIX.
- APPLY 5-10-5 FERTILIZER TO NEW PLANTINGS AT A RATE SET BY MANUFACTURE.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN" LATEST EDITION.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.

- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- ALL PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE.
- EXISTING TREES AND SHRUBS TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH (DO NOT EXCEED 3" DEPTH).
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES. PERENNIAL BEDS SHALL BE MULCHED TO A MINIMUM DEPTH OF 2 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

PLANT LIST

QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS				
2	M. PEN	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	#5
12	R. LGR	RHUS AROMATICA 'GROW LOW'	GROW LOW SUMAC	#3
PERENNIALS / GRASSES				
28	C. ACU	CALAMAGROSTIS ACUTIFLORA	FEATHER REED GRASS	#1
45	R. FUL	RUDBECKIA FULGIDA	BLACK EYED SUSAN	#1
244	A. BRE	AMMOPHILA BREVLIGULATA	AMERICAN BEACH GRASS	PLUGS 12" O.C.

*NOTE- PLANTS TO BE FIELD LOCATED- COORDINATE WITH PROJECT LANDSCAPE ARCHITECT

Date:

JULY 7, 2016

Issued For:

REVIEW

Revisions:

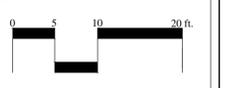
FINAL PLAN REVIEW 8/11/16
0 - ISSUED FOR BID 10/04/16
ADDENDUM #2 10/13/16

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Title:

SITE LAYOUT
&
PLANTING PLAN

Scale: 1"=10'



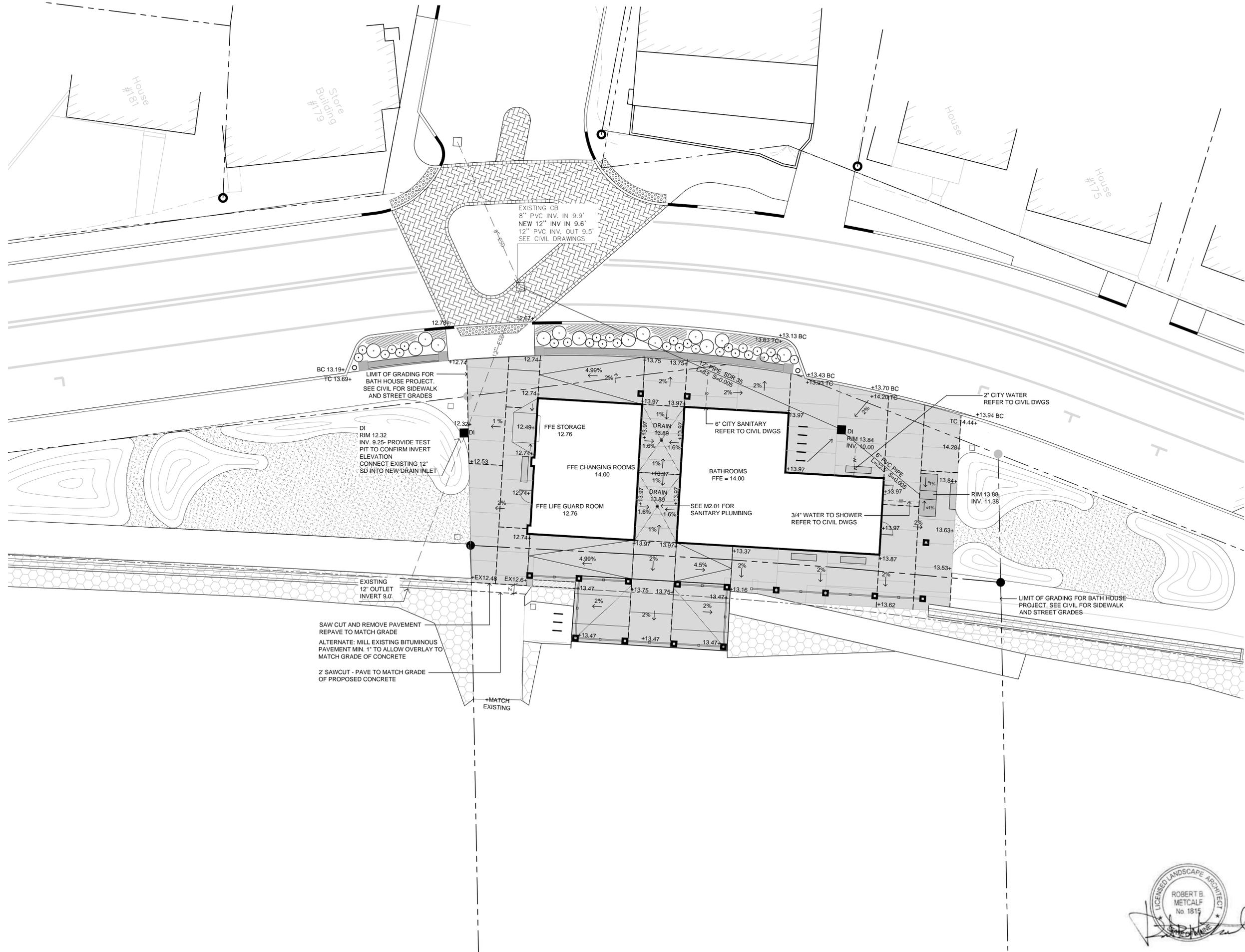
North:



Sheet No.:

L1A





Owner / Applicant:

Town of York
186 York Street
York, Maine 03909

Prepared By:

Mitchell & Associates
LANDSCAPE ARCHITECTS

The Staples School
70 Center Street
Portland, Maine 04101 P: 207.774.4427
F: 207.874.2460

LONG SANDS BEACH BATHHOUSE

York, Maine

Long Beach Ave.

Date:

JULY 7, 2016

Issued For:

REVIEW

Revisions:

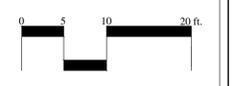
FINAL PLAN REVIEW 8/11/16
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ADDENDUM #2 10/13/16

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Title:

GRADING PLAN

Scale: 1"=10'



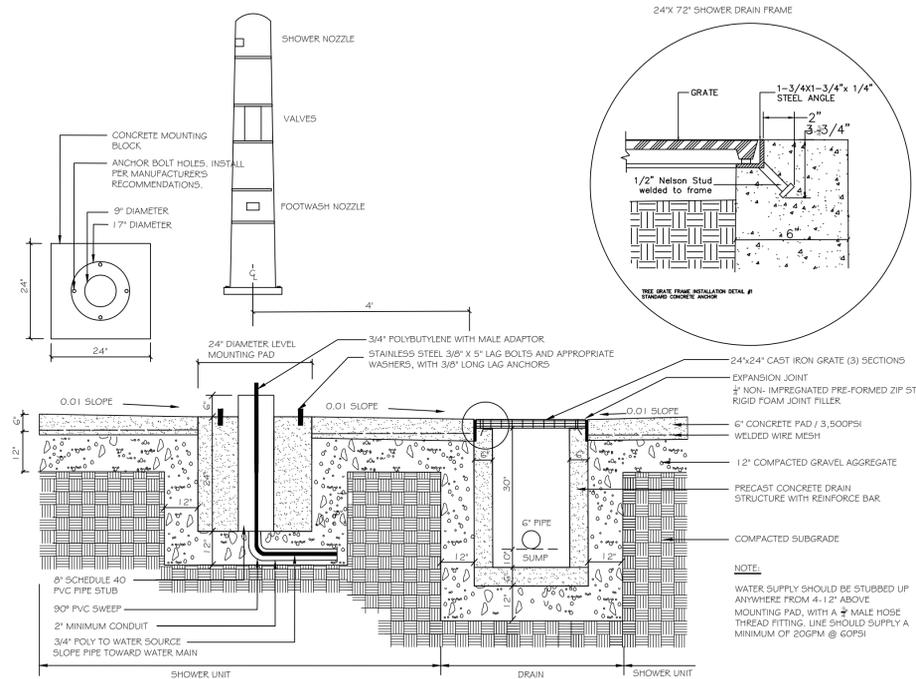
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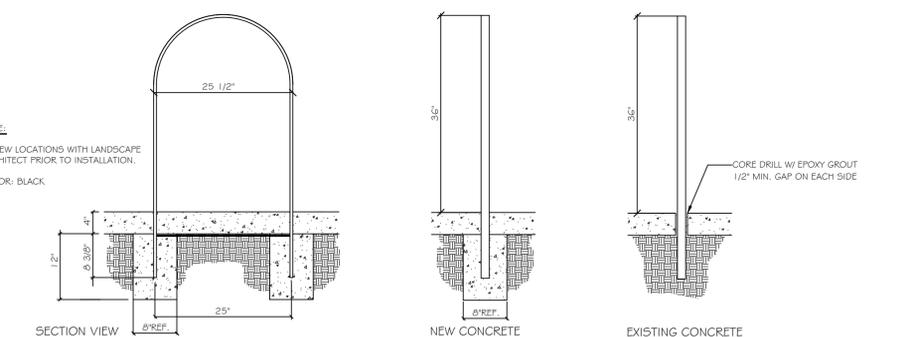
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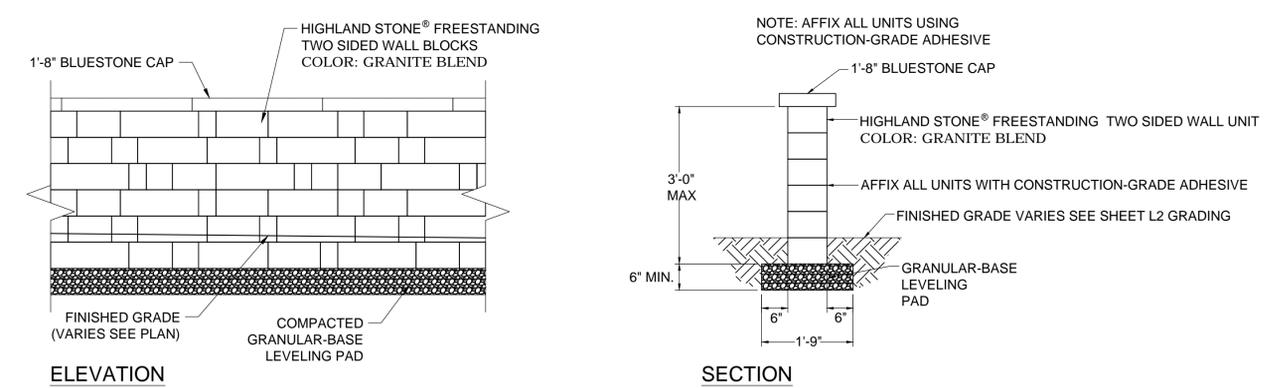




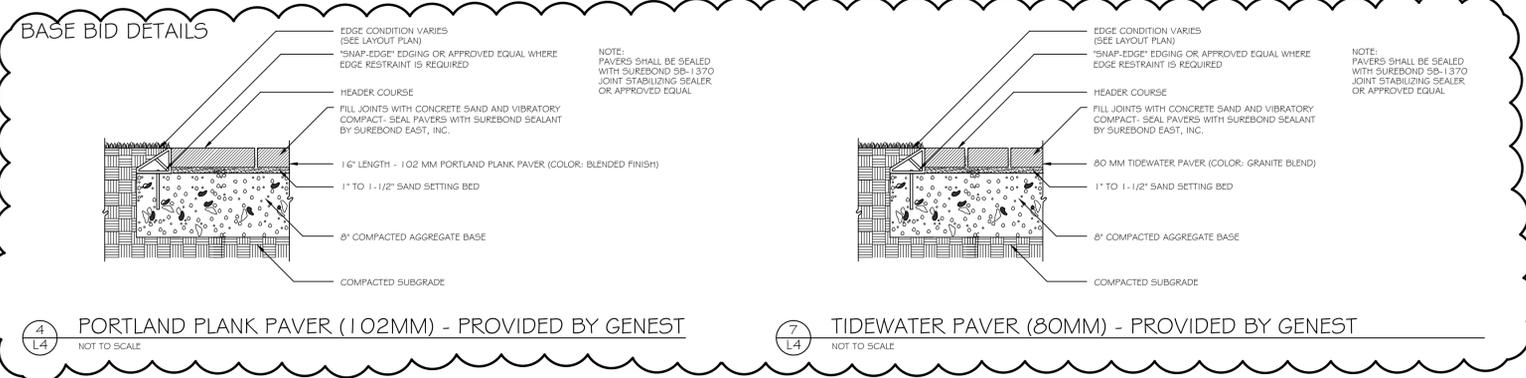
1 CONCRETE SLAB, SHOWER UNIT, AND DRAIN STRUCTURE
NOT TO SCALE



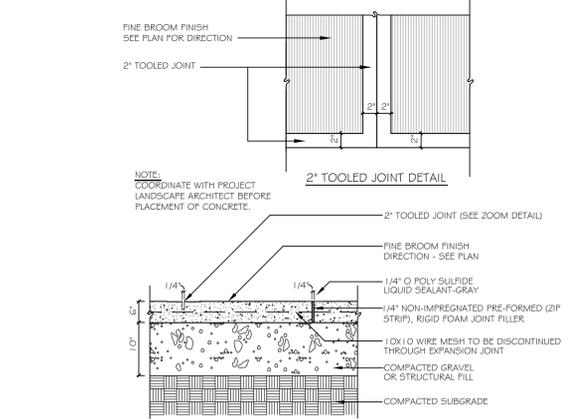
2 WABASH VALLEY 'BIKE LOOPS' PLASTISOL COATED- BIKE RACK
NOT TO SCALE



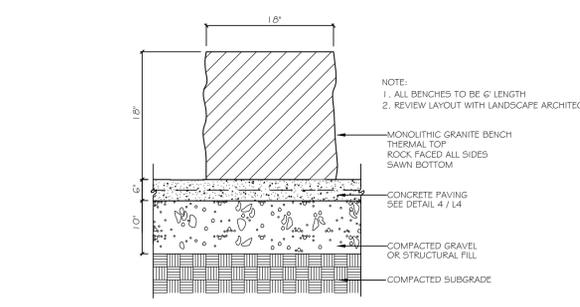
3 HIGHLAND STONE FREESTANDING WALL SYSTEM - MANUFACTURED BY GENEST CONCRETE (ALTERNATE)
NOT TO SCALE



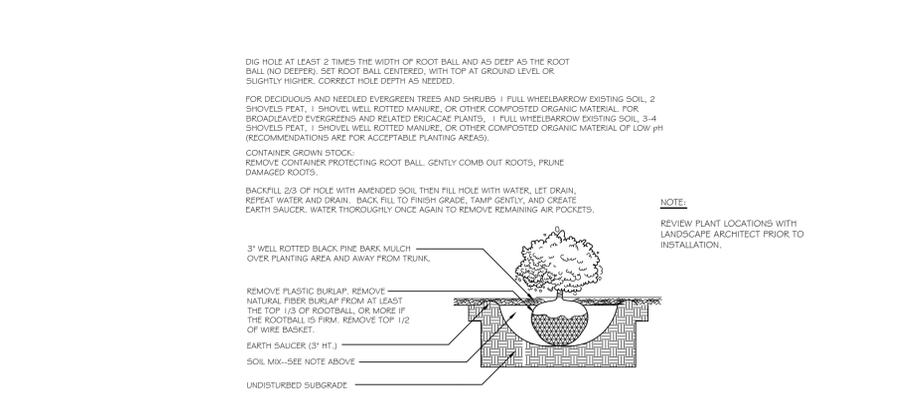
4 PORTLAND PLANK PAVER (102MM) - PROVIDED BY GENEST NOT TO SCALE
7 TIDEWATER PAVER (80MM) - PROVIDED BY GENEST NOT TO SCALE



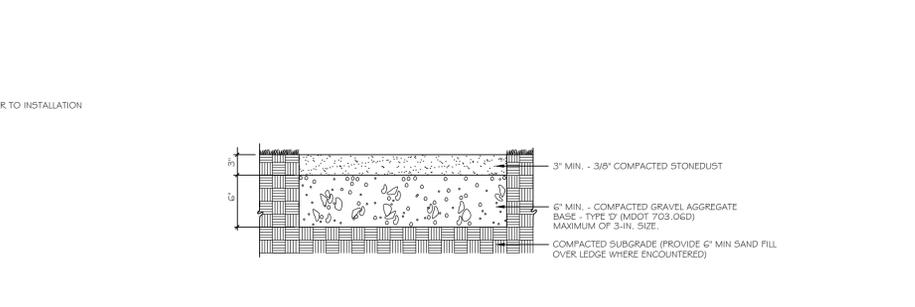
5 C.I.P. CONCRETE
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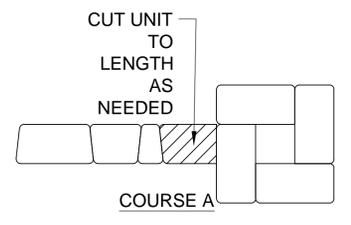
6 GRANITE BENCH
NOT TO SCALE



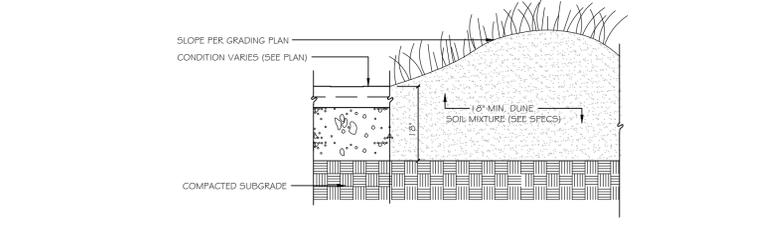
8 PLANT INSTALLATION
NOT TO SCALE



9 STONEDUST
NOT TO SCALE



COLUMNS
NOTES:
1. ALTERNATE COURSES A AND B UNTIL DESIRED COLUMN HEIGHT IS REACHED.
2. WALL UNIT PATTERN MAY VARY
3. AFFIX ALL UNITS WITH CONSTRUCTION-GRADE ADHESIVE



10 DUNE SECTION
NOT TO SCALE

Owner / Applicant:
Town of York
186 York Street
York, Maine 03909

Prepared By:
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LONG SANDS BEACH BATHHOUSE

York, Maine

Long Beach Ave.

Date:
JULY 7, 2016

Issued For:
REVIEW

Revisions:
FINAL PLAN REVIEW 8/11/16
0 - ISSUED FOR BID 10/04/16
ADDENDUM #2 10/13/16

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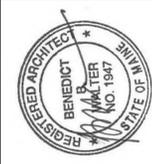
Title:
SITE DETAILS

Scale: VARIES

North:

Sheet No.:
L3





CWS ARCHITECTS
ARCHITECTURE | INTERIOR DESIGN
434 CUMBERLAND AVENUE
PORTLAND, MAINE 04101
P: 207.773.4411
F: 207.773.4411
WWW.CWSARCH.COM

DESIGNER
OWNER
TOWN OF YORK
186 YORK STREET
YORK, MAINE 03909

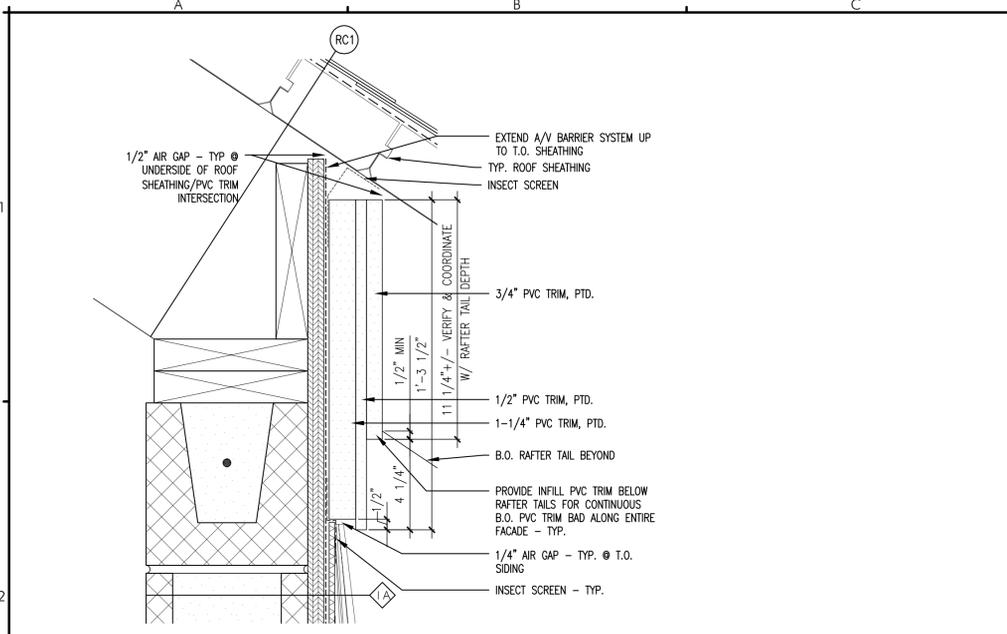
PROJECT
LONG SANDS BEACH BATH HOUSE
178 LONG BEACH AVE
YORK, MAINE 03909

DRAWING
EXTERIOR DETAILS
CWS PROJECT NUMBER: 15008

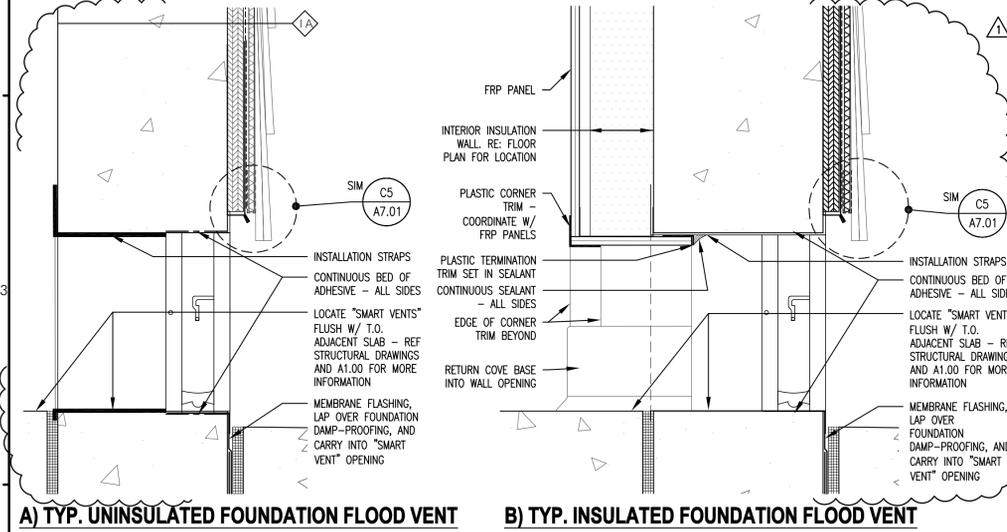
REVISIONS	DATE	DESCRIPTION
1	10/13/2016	ADDENDUM 02 - DETAILS ADJUSTED & ADDED TO SET

DRAWING NUMBER
A7.01

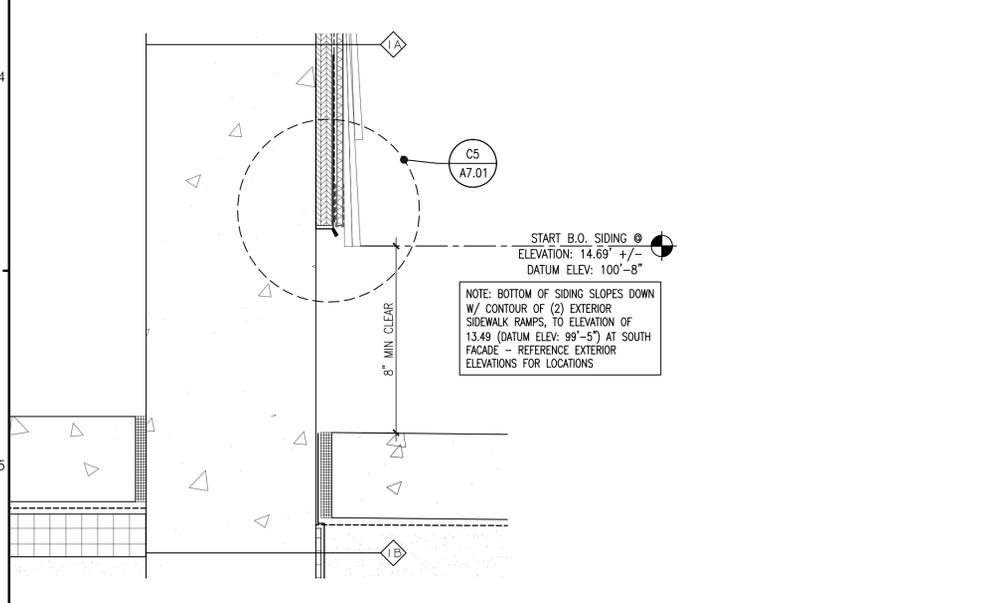
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DATE: 10/04/16



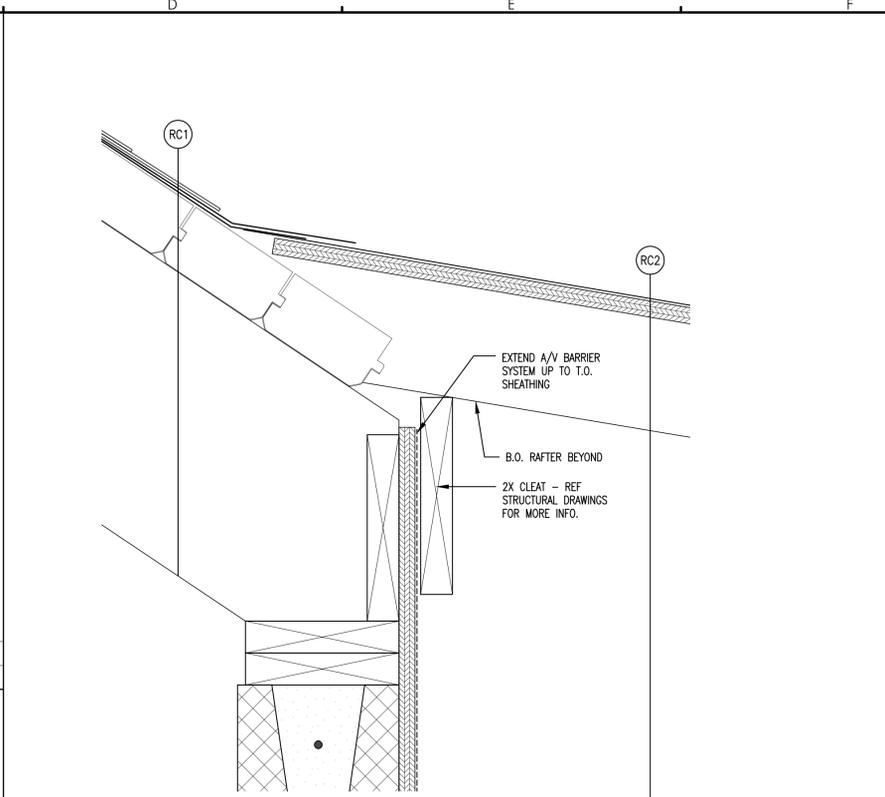
A2 TYPICAL TOP OF WALL AT EXTERIOR WALL ASSEMBLY
REFERENCED FROM: A6.01 & A6.12



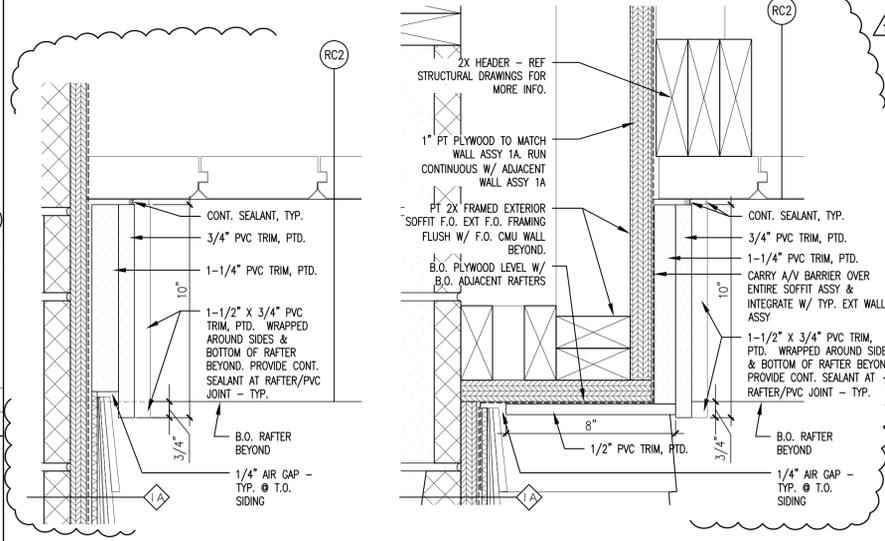
A4 BASE OF WALL AT FOUNDATION FLOOD VENTILATION
REFERENCED FROM: A6.01 & A6.12



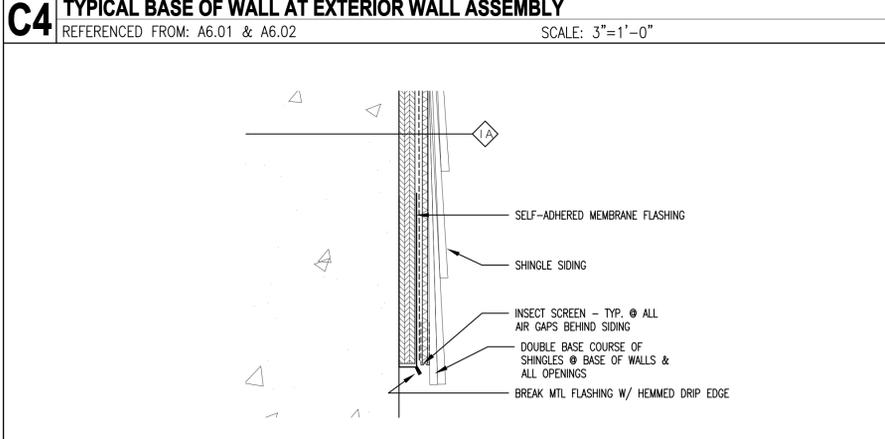
A5 TYPICAL BASE OF WALL AT EXTERIOR WALL ASSEMBLY
REFERENCED FROM: A6.01 & A6.02



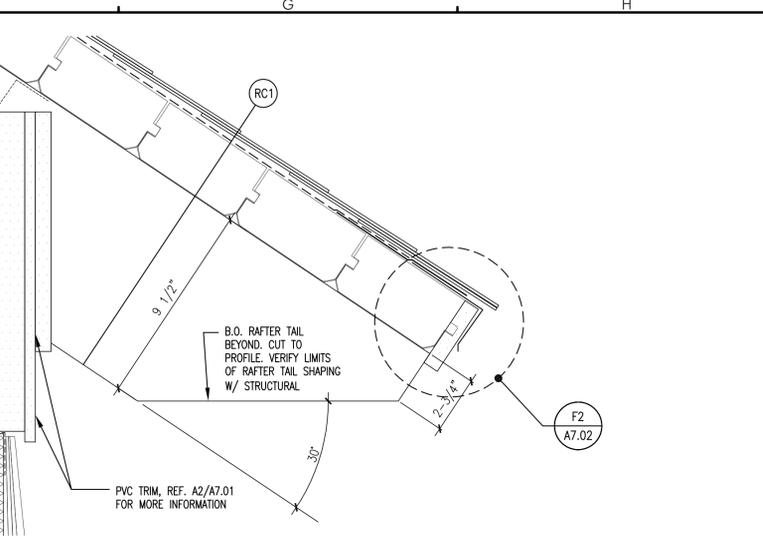
C3 TYPICAL BASE OF WALL AT EXTERIOR WALL ASSEMBLY
REFERENCED FROM: A6.01 & A6.02



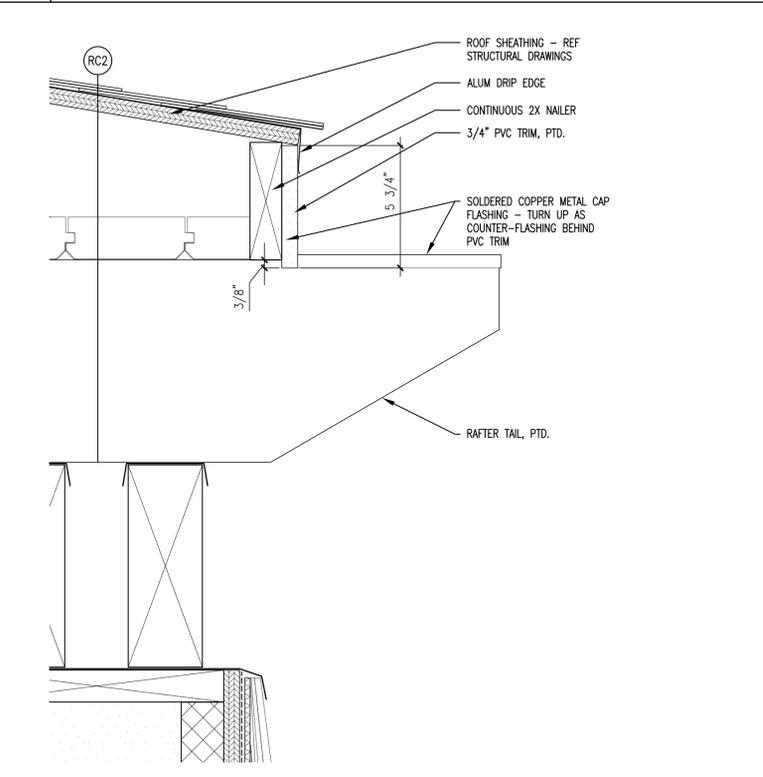
C4 TYPICAL BASE OF WALL AT EXTERIOR WALL ASSEMBLY
REFERENCED FROM: A6.01 & A6.02



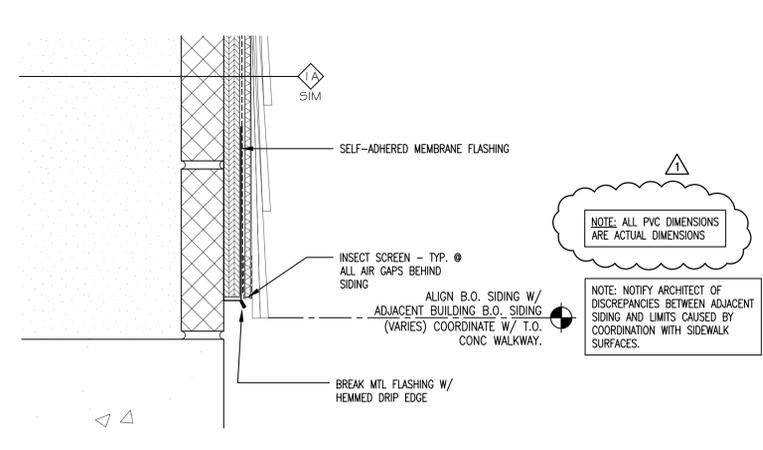
C5 BASE OF WALL AT EXTERIOR WALL ASSEMBLY
REFERENCED FROM: A6.01 & A6.02



F2 TYPICAL ROOF EDGE DETAIL
REFERENCED FROM: A6.01 & A6.02



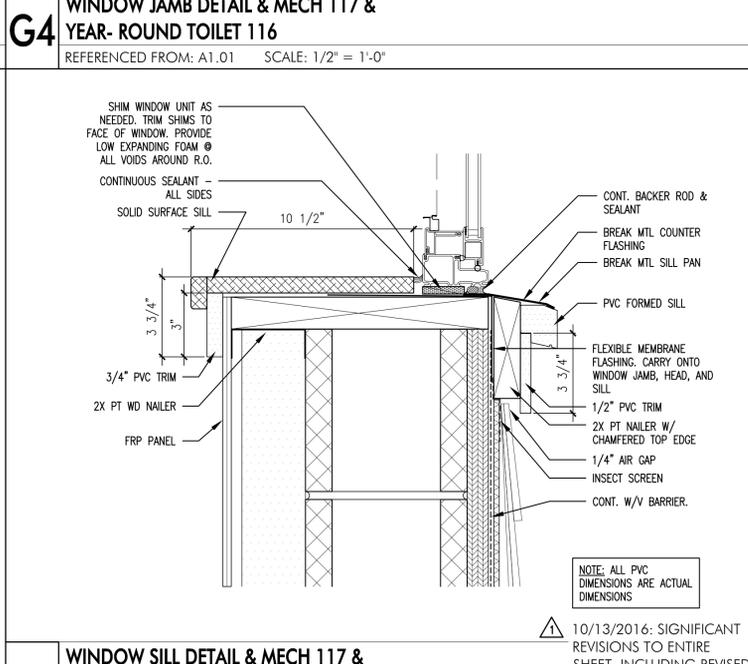
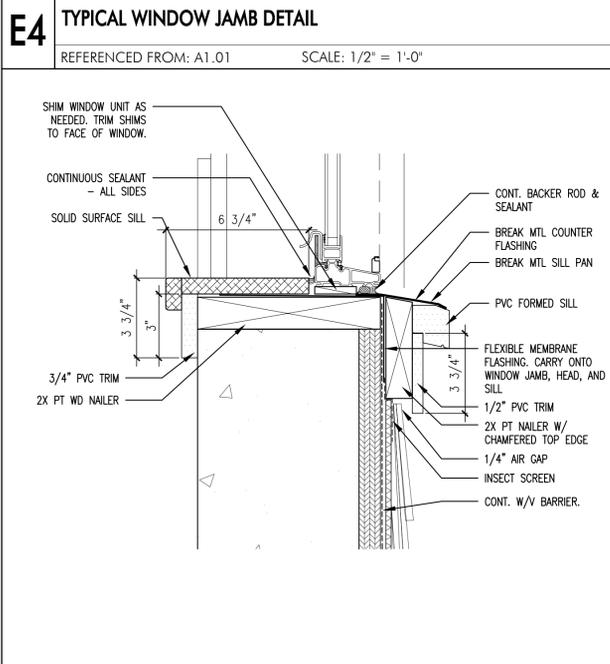
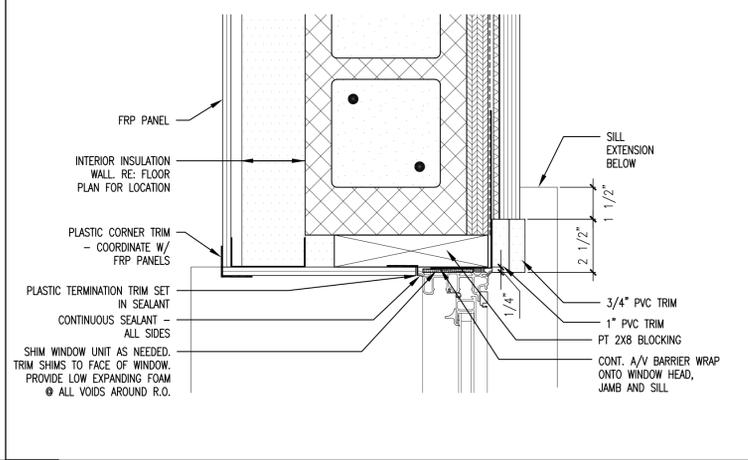
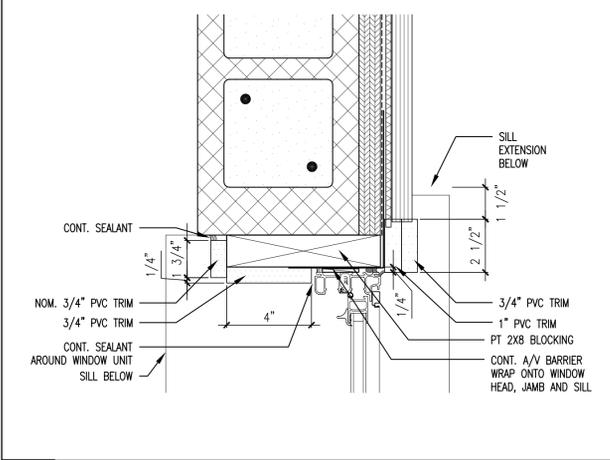
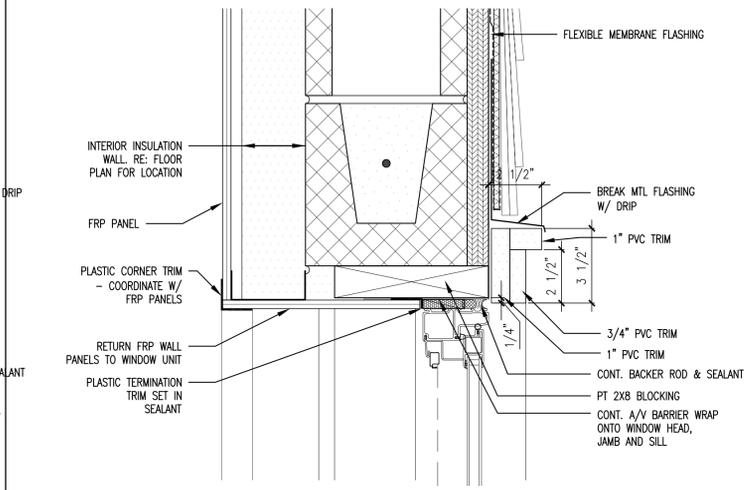
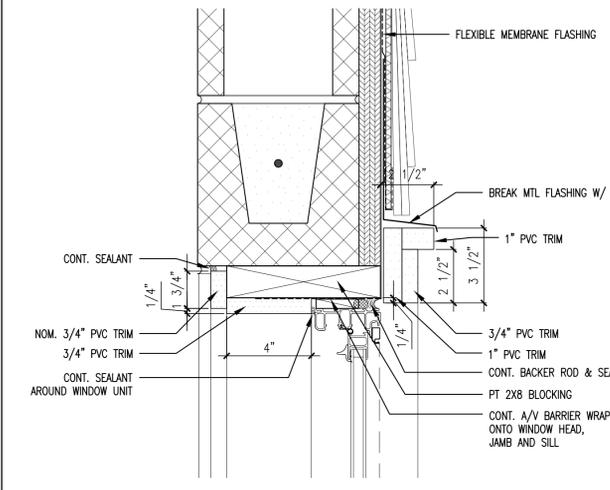
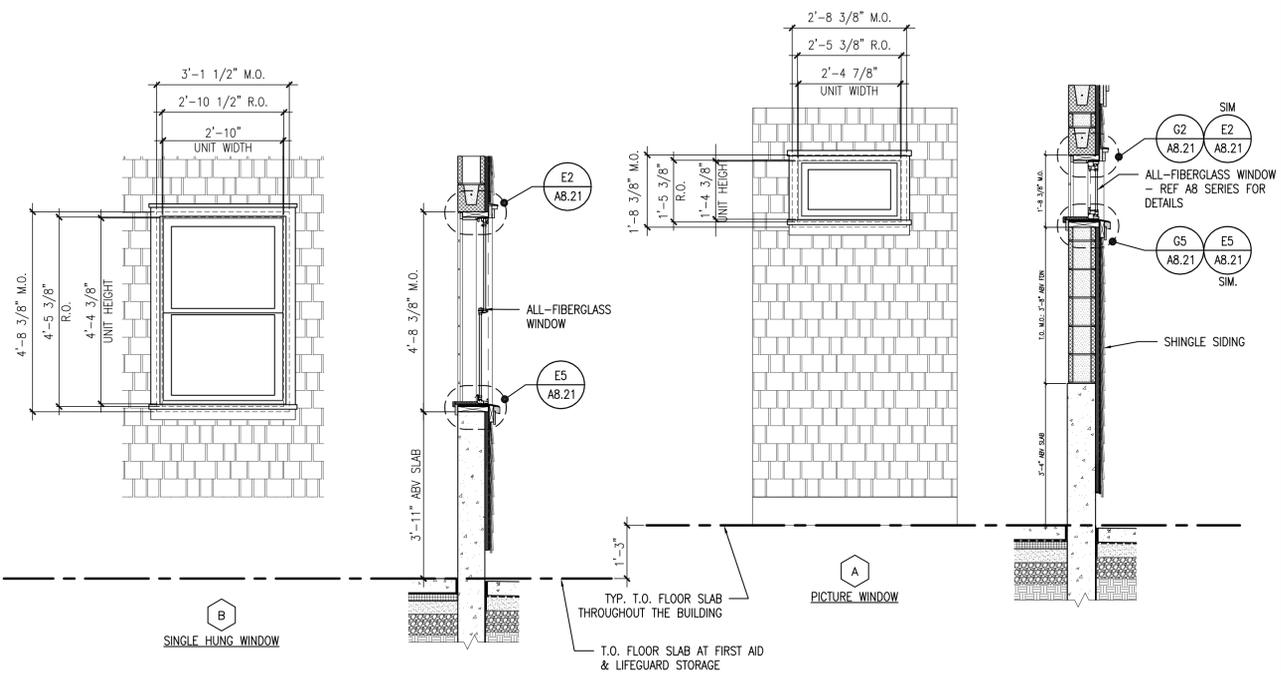
F4 EXTERIOR COLUMN CAP FLASHING & ROOF EDGE DETAIL
REFERENCED FROM: A6.01 & A6.02



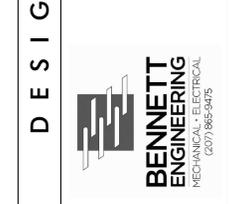
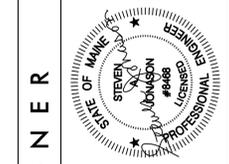
F5 BASE OF EXTERIOR COLUMN
REFERENCED FROM: A6.01 & A6.02



REVISIONS	DATE
ADDENDUM 02	10/13/2016



NOTE: ALL PVC DIMENSIONS ARE ACTUAL DIMENSIONS
10/13/2016: SIGNIFICANT REVISIONS TO ENTIRE SHEET, INCLUDING REVISED WINDOW TYPE B UNIT DIMENSIONS



DESIGNER

OWNER
TOWN OF YORK
186 YORK STREET
YORK, MAINE 03909

PROJECT
LONG SANDS BEACH
BATHHOUSE
178 LONG BEACH AVE
YORK, MAINE 03909

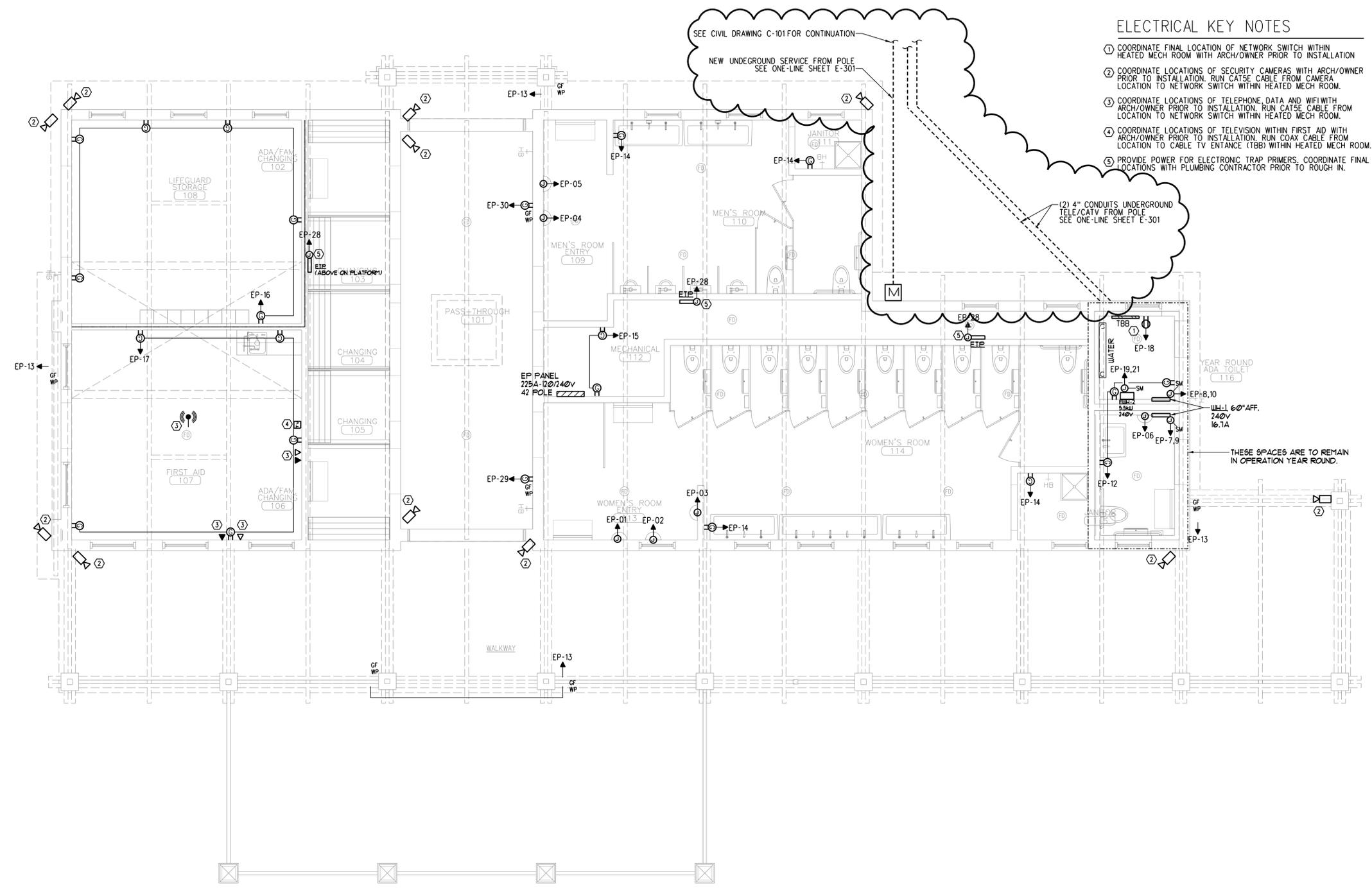
DRAWING
ELECTRICAL PLAN

CWS PROJECT NUMBER: 15008

REVISIONS	DATE	DESCRIPTION
1	10/13/2016	ADDENDUM #2

DRAWING NUMBER
E2.01

SCALE: 1/4" = 1'-0"
DATE: 10/04/16



ELECTRICAL KEY NOTES

- COORDINATE FINAL LOCATION OF NETWORK SWITCH WITHIN HEATED MECH ROOM WITH ARCH/OWNER PRIOR TO INSTALLATION
- COORDINATE LOCATIONS OF SECURITY CAMERAS WITH ARCH/OWNER PRIOR TO INSTALLATION. RUN CAT5E CABLE FROM CAMERA LOCATION TO NETWORK SWITCH WITHIN HEATED MECH ROOM.
- COORDINATE LOCATIONS OF TELEPHONE, DATA AND WIFI WITH ARCH/OWNER PRIOR TO INSTALLATION. RUN CAT5E CABLE FROM LOCATION TO NETWORK SWITCH WITHIN HEATED MECH ROOM.
- COORDINATE LOCATIONS OF TELEVISION WITHIN FIRST AID WITH ARCH/OWNER PRIOR TO INSTALLATION. RUN COAX CABLE FROM LOCATION TO CABLE TV ENTANCE (TBB) WITHIN HEATED MECH ROOM.
- PROVIDE POWER FOR ELECTRONIC TRAP PRIMERS. COORDINATE FINAL LOCATIONS WITH PLUMBING CONTRACTOR PRIOR TO ROUGH IN.

SEE CIVIL DRAWING C-101 FOR CONTINUATION

NEW UNDERGROUND SERVICE FROM POLE
SEE ONE-LINE SHEET E-301

(2) 4" CONDUITS UNDERGROUND
TELE/CATV FROM POLE
SEE ONE-LINE SHEET E-301

YEAR ROUND
ADA TOILET
(116)

UL-L1 60" AFF.
240V
16.1A

THESE SPACES ARE TO REMAIN
IN OPERATION YEAR ROUND.

GENERAL NOTES

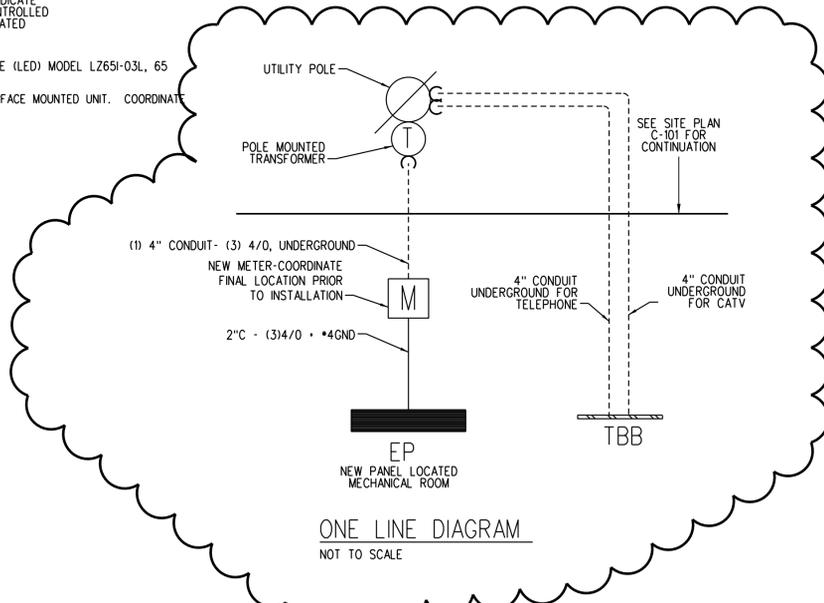
- NOT ALL SYMBOLS INDICATED IN THE LEGEND APPEAR ON THE DRAWINGS. COORDINATE WORK ACCORDINGLY. COMPLY WITH SPECIFICATIONS AND NOTES BELOW AS APPLICABLE.
- ALL RECEPTACLES SHALL BE INSTALLED 18" AFF TO CENTERLINE OF BOX UNLESS NOTED OTHERWISE.
- ALL WIRING SHALL BE COPPER UNLESS DESIGNATED AS "AL". UNLESS OTHERWISE NOTED ALL WIRING SHALL BE 2*12 AWG AND 1*12 EQUIPMENT GROUNDING CONDUCTOR. HOMERUNS FED FROM A 20A-1P, 120V CIRCUIT IN EXCESS OF 70' SHALL BE *10 AWG.
- CONNECT BATTERY BACKED EMERGENCY AND EXIT LIGHTING TO NEAREST LIGHTING CIRCUIT AHEAD OF ANY SWITCHING. CONNECT REMOTE HEADS WITH *10 AWG COPPER CONDUCTORS. AC EXIT FIXTURES SHALL BE CONNECTED TO NEAREST EMERGENCY CIRCUIT OR AS INDICATED.
- TEST ALL EMERGENCY LIGHTING UNITS FOR PROPER OPERATION OF LAMPS AND BATTERIES.
- SEE MECHANICAL PLAN FOR HVAC UNITS, PUMPS AND FANS CONTROLLED BY THERMOSTATS (PROVIDED BY ATC CONTRACTOR).
- FUSES AND OVERLOAD UNITS FOR MOTORS SHALL BE SIZED BASED ON ACTUAL MOTOR NAMEPLATE DATA AND IN ACCORDANCE WITH NEC. CIRCUIT BREAKERS FOR MOTORS ARE SUPPLIED AT MAX VALUE PER NEC (2.5 x FLA). SIZE IN THE FIELD IN ACCORDANCE WITH MFGR RECOMMENDATION.
- ALL WORK SHALL COMPLY WITH NFPA70, NFPA72, NFPA101 & ALL FEDERAL, STATE & LOCAL REGULATIONS.
- ALL PENETRATIONS THROUGH FLOORS, RATED WALLS AND PARTITIONS SHALL BE SEALED WITH UL APPROVED FIRE SEALANT MATERIAL TO MAINTAIN FIRE RATING FOR THE SEPARATION.
- AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED WITH ALL FEEDERS AND BRANCH CIRCUITS. SIZE IN ACCORDANCE WITH NFPA 70 ARTICLE 250.
- COORDINATE INSTALLATION OF VOICE/DATA OUTLETS WITH OWNER, MIS OR COMMUNICATIONS CONTRACTOR.
- LOCATE DISCONNECTS AT EQUIPMENT AS REQUIRED BY MANUFACTURER. LOCATIONS ON DRAWINGS ARE APPROXIMATE.
- PROVIDE RISER OR PLENUM RATED CABLES ABOVE SUSPENDED CEILINGS.
- THE CONTRACTOR SHALL SET ALL ELECTRONIC BREAKERS TO SPECIFIED TRIP SETTINGS BEFORE ENERGIZING EQUIPMENT.
- PROVIDE EXPANSION FITTINGS FOR ALL UNDERGROUND RACEWAYS ENTERING ENCLOSURES ATTACHED TO FIXED STRUCTURES.
- OUTDOOR RECEPTACLE COVERS SHALL COMPLY WITH NFPA 70 - ARTICLE 406.9.
- ALL CONDUCTOR INSULATION FOR BUILDING WIRE SHALL BE THWN/THHN UNLESS NOTED OTHERWISE.
- PROVIDE LABEL ON SERVICE EQUIPMENT INDICATING AVAILABLE SHORT CIRCUIT CURRENT OBTAIN VALUES FROM ENGINEER.
- PROVIDE ARC FAULT LABELS PER NFPA 70-ARTICLE 110.24
- OUTLETS INSTALLED IN FIRE RATED WALLS BACK TO BACK SHALL BE SEPARATED BY 24" MINIMUM OR BE PROTECTED WITH "PUTTY PADS" PER 2009 INTERNATIONAL BUILDING CODE SECTION 713.3.2
- MINIMUM WIRE SIZE ON ALL BRANCH CIRCUITS SHALL BE *12.

ABBREVIATIONS

A	AMP	LP	LIGHTING PANELBOARD
AC	ALTERNATING CURRENT, ABOVE COUNTER	LTG	LIGHTING
ADA	AMERICANS WITH DISABILITIES ACT	LSIG	LONG TIME, SHORT TIME, INSTANTANEOUS, GROUND FAULT CIRCUIT BREAKER TRIP FUNCTIONS AS INDICATED
AF	AMP FRAME	MCC	MOTOR CONTROL CENTER
AFCI	ARC FAULT CIRCUIT INTERRUPTER	MCCB	MOLDED CASE CIRCUIT BREAKER
AFI	ABOVE FINISHED FLOOR	MCB	MAIN CIRCUIT BREAKER
AFG	ABOVE FINISHED GRADE	MDP	MAIN DISTRIBUTION PANEL
AIC	AMPERES INTERRUPTING CAPACITY	MH	MANHOLE
AL	ALUMINUM	MLO	MAIN LUGS ONLY
AT	AMP TRIP	MTS	MANUAL TRANSFER SWITCH
ATC	AUTOMATIC TEMPERATURE CONTROL	NC	NORMALLY CLOSED OF NURSE CALL
ATS	AUTOMATIC TRANSFER SWITCH	NEC	NATIONAL ELECTRICAL CODE
AWG	AMERICAN WIRE GAUGE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
BLDG	BUILDING	NL	NIGHT LIGHT
C	CONDUIT	NO	NORMALLY OPEN
CB	CIRCUIT BREAKER	NO.	NUMBER
CI	CAST IRON	OL	OVERLOAD
CKT	CIRCUIT	Ø	CENTERLINE
Ø	CENTERLINE	CMP	CENTRAL MAINE POWER (ELECTRIC UTILITY)
CMP	CENTRAL MAINE POWER (ELECTRIC UTILITY)	CMU	CONCRETE MASONRY UNIT
CMU	CONCRETE MASONRY UNIT	CT	CURRENT TRANSFORMER
CT	CURRENT TRANSFORMER	CONC	CONCRETE
CONC	CONCRETE	CS	CARBON STEEL
CS	CARBON STEEL	CU	COPPER
CU	COPPER	CUH	CABINET UNIT HEATER
CUH	CABINET UNIT HEATER	DL	DAMP LOCATION
DL	DAMP LOCATION	EC	ELECTRICAL CONTRACTOR
EC	ELECTRICAL CONTRACTOR	EF	EXHAUST FAN
EF	EXHAUST FAN	ERL	EXISTING REMAINS IN PLACE
ERL	EXISTING REMAINS IN PLACE	ER	EXISTING RELOCATE
ER	EXISTING RELOCATE	ERM	EXISTING REMOVE
ERM	EXISTING REMOVE	EUH	ELECTRIC UNIT HEATER
EUH	ELECTRIC UNIT HEATER	EWC	ELECTRICAL WATER COOLER
EWC	ELECTRICAL WATER COOLER	FACP	FIRE ALARM CONTROL PANEL
FACP	FIRE ALARM CONTROL PANEL	FAPS	FIRE ALARM PULL STATION
FAPS	FIRE ALARM PULL STATION	FRP	FIBER REINFORCED PLASTIC
FRP	FIBER REINFORCED PLASTIC	FVNR	FULL VOLTAGE, NON-REVERSING FURNISHED WITH UNIT
FVNR	FULL VOLTAGE, NON-REVERSING FURNISHED WITH UNIT	FWU	DIRECT CURRENT
FWU	DIRECT CURRENT	DC	DIRECT CURRENT
DC	DIRECT CURRENT	GFI	GROUND FAULT INTERRUPTER
GFI	GROUND FAULT INTERRUPTER	GND	GROUND
GND	GROUND	HID	HIGH INTENSITY DISCHARGE
HID	HIGH INTENSITY DISCHARGE	HOA	HAND-OFF-AUTOMATIC
HOA	HAND-OFF-AUTOMATIC	HP	HORSEPOWER
HP	HORSEPOWER	HPS	HIGH PRESSURE SODIUM
HPS	HIGH PRESSURE SODIUM	HZ	HERTZ
HZ	HERTZ	ICB	INSULATED CASE CIRCUIT BREAKER
ICB	INSULATED CASE CIRCUIT BREAKER	JB	JUNCTION BOX
JB	JUNCTION BOX	KAC	THOUSAND AMP INTERRUPTING CAPACITY
KAC	THOUSAND AMP INTERRUPTING CAPACITY	KCML	THOUSAND CIRCULAR MIL
KCML	THOUSAND CIRCULAR MIL	KV	THOUSAND VOLTS
KV	THOUSAND VOLTS	KVA	THOUSAND VOLT-AMPS
KVA	THOUSAND VOLT-AMPS	KW	THOUSAND WATTS (KILOWATT)
KW	THOUSAND WATTS (KILOWATT)	LC	LIGHTING CONTACTORS
LC	LIGHTING CONTACTORS	LCP	LATERAL CONTROL PIT
LCP	LATERAL CONTROL PIT	LED	LIGHT EMITTING DIODE
LED	LIGHT EMITTING DIODE	LP	LIGHTING PANELBOARD
		LTG	LIGHTING
		LSIG	LONG TIME, SHORT TIME, INSTANTANEOUS, GROUND FAULT CIRCUIT BREAKER TRIP FUNCTIONS AS INDICATED
		MCC	MOTOR CONTROL CENTER
		MCCB	MOLDED CASE CIRCUIT BREAKER
		MCB	MAIN CIRCUIT BREAKER
		MDP	MAIN DISTRIBUTION PANEL
		MH	MANHOLE
		MLO	MAIN LUGS ONLY
		MTS	MANUAL TRANSFER SWITCH
		NC	NORMALLY CLOSED OF NURSE CALL
		NEC	NATIONAL ELECTRICAL CODE
		NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
		NL	NIGHT LIGHT
		NO	NORMALLY OPEN
		NO.	NUMBER
		OL	OVERLOAD
		Ø	CENTERLINE
		CMP	CENTRAL MAINE POWER (ELECTRIC UTILITY)
		CMU	CONCRETE MASONRY UNIT
		CT	CURRENT TRANSFORMER
		CONC	CONCRETE
		CS	CARBON STEEL
		CU	COPPER
		CUH	CABINET UNIT HEATER
		DL	DAMP LOCATION
		EC	ELECTRICAL CONTRACTOR
		EF	EXHAUST FAN
		ERL	EXISTING REMAINS IN PLACE
		ER	EXISTING RELOCATE
		ERM	EXISTING REMOVE
		EUH	ELECTRIC UNIT HEATER
		EWC	ELECTRICAL WATER COOLER
		FACP	FIRE ALARM CONTROL PANEL
		FAPS	FIRE ALARM PULL STATION
		FRP	FIBER REINFORCED PLASTIC
		FVNR	FULL VOLTAGE, NON-REVERSING FURNISHED WITH UNIT
		FWU	DIRECT CURRENT
		DC	DIRECT CURRENT
		GFI	GROUND FAULT INTERRUPTER
		GND	GROUND
		HID	HIGH INTENSITY DISCHARGE
		HOA	HAND-OFF-AUTOMATIC
		HP	HORSEPOWER
		HPS	HIGH PRESSURE SODIUM
		HZ	HERTZ
		ICB	INSULATED CASE CIRCUIT BREAKER
		JB	JUNCTION BOX
		KAC	THOUSAND AMP INTERRUPTING CAPACITY
		KCML	THOUSAND CIRCULAR MIL
		KV	THOUSAND VOLTS
		KVA	THOUSAND VOLT-AMPS
		KW	THOUSAND WATTS (KILOWATT)
		LC	LIGHTING CONTACTORS
		LCP	LATERAL CONTROL PIT
		LED	LIGHT EMITTING DIODE

SYMBOL LEGEND

- ████ SURFACE MOUNTED POWER PANEL, SEE PANEL SCHEDULES FOR RATING
- Ⓜ ELECTRIC MOTOR DRIVEN EQUIPMENT, HP SHOWN
- H, DS, DW Ⓜ JUNCTION BOX, "H" DENOTES RANGE HOOD, "DS" DENOTES DISPOSAL, "DW" DENOTES DISHWASHER
- SM MANUAL MOTOR STARTER SWITCH WITH THERMAL OVERLOAD DEVICE MOUNTED AT UNIT
- DISCONNECT SWITCH, SIZE AND NUMBER OF POLES AS INDICATED ON DRAWING. PROVIDED BY EC UNLESS NOTED OTHERWISE. PROVIDE FUSES WHERE RECOMMENDED BY MANUFACTURER.
- COMBINATION MOTOR STARTER/ DISCONNECT SWITCH WITH AUXILIARY CONTACTS AND HAND-OFF-AUTO SWITCH AND RED RUN LIGHT. PROVIDED AND INSTALLED BY EC UNLESS NOTED OTHERWISE.
- DUPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. MOUNT 18" AFF UNLESS NOTED OTHERWISE.
- QUAD RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. MOUNT 18" AFF UNLESS NOTED OTHERWISE.
- DUPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. FLUSH MOUNTED 45" AFF EXCEPT AS NOTED.
- GROUND FAULT DUPLEX RECEPTACLE, 20A, 125V, TAMPER PROOF, WITH MATCHING PLATE FURNISHED W/ OUTLET. FLUSH MOUNTED 45" AFF EXCEPT AS NOTED.
- REFRIGERATOR DUPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. MOUNT RECEPTACLE AT 48 INCHES ABOVE FINISHED FLOOR.
- FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE- 20A, 125V SPEC GRADE GROUNDING TYPE. "CL" DENOTES CEILING MOUNTED
- RACEWAY & WIRING OR MC CABLE RUN CONCEALED IN WALLS/CEILING
- RACEWAY & WIRING RUN EXPOSED
- RACEWAY & WIRING RUN CONCEALED UNDER FLOOR OR BURIED 30" BELOW FINISH GRADE
- HOME RUN TO PANEL, WITH PANEL AND CIRCUIT NUMBER
- HP-XX
- CABLE TV JUNCTION BOX "CTV", SIZE AS REQUIRED BY CABLE UTILITY
- TV OUTLET LOCATION, CABLE AND JACKS BY EC
- TEMPERATURE CONTROL PANEL, PROVIDED BY MC WIRED BY EC
- LIGHTING FIXTURES, CAPITAL LETTERS DENOTE TYPE PER LIGHTING FIXTURE SCHEDULE. LOWER CASE LETTERS INDICATE SWITCH CONTROL. "OB" INDICATES INBOARD LAMPS CONTROLLED BY OUTBOARD SWITCHED "O" AND "B". DIAGONAL INDICATED NIGHT LIGHT (UNSWITCHED)
- SELF CONTAINED EMERGENCY LIGHT W/2 HEADS DUAL-LITE (LED) MODEL L2651-03L, 65 WATTS FOR 90 MINUTES, COLOR BY ARCHITECT
- LIGHTING INVERTER SHALL BE DUAL-LITE MODEL LG250S, SURFACE MOUNTED UNIT. COORDINATE FINAL LOCATION WITHIN MECH ROOM PRIOR TO ROUGH IN.
- OWNER SUPPLIED SECURITY CAMERA COORDINATE AND PROVIDE CAT5 DATA AND CONDUIT PER MANUFACTURERS RECOMMENDATIONS BACK TO SECURITY NETWORK SWITCH. EXACT LOCATIONS TO BE DETERMINED.
- CEILING MOUNTED MOTION SENSOR (WATTSTOPPER OR EQUAL) CORRIDORS: WT-2255 SENSOR & B120E-P POWER PACK. SENSORS AND RELAYS TO CONTROL CIRCUITS IN SPACES INDICATED. DEVICES SHALL PROVIDE FULL COVERAGE IN AREAS INSTALLED. DT INDICATES DUAL TECHNOLOGY. PIR INDICATED PASSIVE INFRARED TECHNOLOGY
- WALL MOUNTED SWITCH MOTION SENSOR. MOUNT AT 48" AFF UNLESS OTHER WISE NOTED
- SINGLE POLE SWITCH, 120V, 20A, SPEC GRADE, GROUNDING TYPE, MOUNT 48" AFF, 3-3-WAY, 4-4-WAY, LOWER CASE LETTER INDICATES FIXTURE OR CONTROLLED LOAD.
- SWITCH WITH PILOT LIGHT, SWITCHES SHALL BE PROVIDED W/ ENGRAVED NAMEPLATE IDENTIFYING USE
- REMOTE RANGE HOOD FAN SWITCH, CONNECT TO HOOD FAN THRU HOOD JUNCTION BOX.
- REMOTE RANGE HOOD LIGHT SWITCH, CONNECT TO HOOD LIGHT THRU JUNCTION BOX.
- BURNER SAFETY SWITCH, PROVIDE WITH RED PLATE, MOUNTED 72" AFF
- SINGLE POLE DIMMER SWITCH, 120V, 20A, SPEC GRADE, GROUNDING TYPE, MOUNT 48" AFF, 3-3-WAY, 4-4-WAY, LOWER CASE LETTER INDICATES FIXTURE OR CONTROLLED LOAD.
- PHOTOCELL
- LIGHTING CONTACTOR
- TIMECLOCK
- TELEPHONE/DATA DUAL JACK, MOUNT 18" AFF, RUN TWO CAT 5E CABLES BACK TO TBB
- DATA JACK, RUN TWO CAT 5E CABLES BACK TO TBB.
- FLUSH FLOOR MOUNTED TELEPHONE/DATA DUAL JACK, RUN TWO CAT 5E CABLES BACK TO TBB. "CL" DENOTES CEILING MOUNTED
- TELEPHONE JACK, MOUNT 18" AFF UNLESS NOTED OTHERWISE, RUN ONE CAT 5E CABLE BACK TO TBB.
- TELEPHONE BACK BOARD
- WiFi ROUTER, ONE CAT 5E CABLE BACK TO TBB OR IT ROOM. MOUNT ABOVE CEILING, "W" DENOTES WALL MOUNTED AT 72" AFF
- WP DENOTES WEATHERPROOF CONSTRUCTION
- RP DENOTES EXISTING ELECTRICAL EQUIPMENT TO BE REPLACED
- RM DENOTES EXISTING ELECTRICAL EQUIPMENT TO REMAIN
- RL DENOTES EXISTING ELECTRICAL EQUIPMENT TO BE RELOCATED
- RV DENOTES EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED



LIGHT FIXTURE SCHEDULE

TYPE	MANUFACTURER AND MODEL NUMBER	LAMP INFO	REMARKS
A	BEGA-US MODEL 77986 PENDANT-TO BE LED NOT METAL HALIDE	ORDER AS LED LAMPING	BATHROOMS PENDANTS-COORDINATE HEIGHT PRIOR TO INSTALLATION
B	AXIS WET BEAM 4 WBWLED-B3-MF-750-80-35-S-5-APC-120-D-1	LED 8.3W/ft-90lm/W	BATHROOMS WALL FIXTURE-MOUNT O TOP OF CMU WALLS-LIGHT SHALL FACE UP TO CEILING.
C	METALUX VAPORTITE LED-4VT2-LD4-6-FR50-UNV-L835-CD1-WL	LED 38W, 4000 LUMENS	FIRST AID, STORAGE, MECH ROOM LIGHTING-CEILING MOUNTED, CHAIN HUNG IN AREAS. SEE DRAWINGS FOR LOCATIONS.
D	EATON FAIL-SAFE DOWNLIGHT-FLD4AX-D010TE/FERM4A09-9-35 /FV/S4XLM1E-L1-BL-B4	LED 14.1W/900 LUMENS	RECESSED CAN LIGHTS
E	EATON INVUE ENTRI-ENT-E01-LED-120-BL2-WH-ULG-PC-TP	LED 25W, 2738 LUMENS	EXTERIOR WALL SCONCES-MOUNT 7.5' TO BOTTOM OF FIXTURE- INCLUDES UPLIGHT OPTION, PHOTOCELL AND TAMPER PROOF.
F	TERON LIGHTING-BIRGIE POLY OVAL LED-BEO-L10.1-120-GRL-WH-40K	LED 11.3W, 912 LUMENS	JANITORS CLOSETS, MECH ROOM, MOUNT ABOVE DOOR
L	HUNTER CEILING FAN-HFC-72-72" CEILING FAN-MODEL 59134	97W, 8926 CFM	COORDINATE SWITCH/CONTROL LOCATIONS WITH ARCH/OWNER PRIOR TO INSTALLATION. BATHROOM CONTROLS MOUNTED IN MECH CHASE.

- NOTES:
1. FIXTURES SHALL BE ENERGY STAR RATED OR HAVE HIGH PERFORMANCE BALLASTS AND LAMPS TO MEET STATE EFFICIENCY CRITERIA.
2. CONTRACTOR SHALL APPLY FOR ALL STATE EFFICIENCY INCENTIVES ON OWNERS BEHALF.

PANEL EP (MECHANICAL) SECTION 1 120/240V 1PH 3W-225AMP BUS - MCB 22K AIC NEMA TYPE 1 (SURFACE)

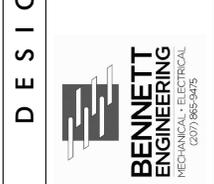
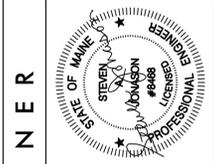
CKT #	LOAD DESCRIPTION	AT	P	CA	DF	DA	CKT #	LOAD DESCRIPTION	AT	P	CA	DF	DA
1	HAND DRYER 1-WOMENS	20	1	13	0.50	6	2	HAND DRYER 2-WOMENS	20	1	13	0.50	6
3	HAND DRYER 3-WOMENS	20	1	13	0.50	6	4	HAND DRYER 1-MENS	20	1	13	0.50	6
5	HAND DRYER 2-MENS	20	1	13	0.50	6	6	HAND DRYER ADA TOILET	20	1	13	0.50	6
7	WH-1 ADA YEAR ROUND TOILET	20	2	17	1.00	17	8	WH-1-JANITOR	20	1	17	1.00	17
9						0	10						0
11	EMERGENCY LIGHT BATTERY INVERTER	20	1	4	1.00	4	12	RECEPTACLES-YEAR ROUND SPACES	20	1	5	0.50	2
13	EXTERIOR RECEPTACLES	20	1	9	0.50	5	14	RECEPT-BATHROOMS, JANITORS CLOSETS	20	1	6	0.50	3
15	RECEPTACLES-MECHANICAL CHASE	20	1	3	0.50	2	16	RECEPTACLES-LIFEGUARD STORAGE	20	1	9	0.50	5
17	RECEPTACLES-FIRST AID	20	1	8	0.50	4	18	RECEPTACLES-NETWORK SWITCH	20	1	3	1.00	3
19	EWH-2-ELEC WATER HEATER-MECH ROOM	30	2	23	1.00	23	20	EWH-1-ELEC WATER HEATER-PLATFORM IN ATTIC	25	2	19	1.00	19
21						0	22						0
23	EF-1/CP-1 LOCATED IN ATTIC SPACE	20	1	8	1.00	8	24	EXTERIOR LIGHT CIRCUIT	20	1	4	0.70	3
25	LIGHTS/FANS-ATTIC, FIRST AID, LIFEGUARD STOR	20	1	5	0.70	3	26	LIGHTING IN PASS-THRU AND CHANGING	20	1	3	0.70	2
27	LIGHTING/FANS IN MENS/WOMENS BATHROOMS	20	1	11	0.70	7	28	POWER FOR ELECTRONIC TRAP PRIMERS	20	1	3	1.00	3
29	RECEPTACLE IN PASS-THROUGH	20	1	8	0.50	4	30	RECEPTACLE IN PASS-THROUGH	20	1	8	0.50	4
31		20	1			0	32		20	1			0
33		20	1			0	34		20	1			0
35		20	1			0	36		20	1			0
37		20	1			0	38		20	1			0
39		20	1			0	40		20	1			0
41		20	1			0	42		20	1			0

AT - Amp Trip
P - Poles
A - Amps
CA - Connected Amperes
DF - Demand Factor (1 - 1)
DA - Demand Amperes
MLO - Main Lug Only
MCB - Main Circuit Breaker

Tot Amps/PH - Connected Load 244.40
Demand Factor 70.77%
Total Amps/PH - Demand 172.95
Connected KVA 58.66
Demand KVA 41.51
Min. Panel Size (Demand x 1.25) - Amps 216.19

E1 LEGEND, NOTES, ONE-LINE AND PANEL SCHEDULE

REFERENCED FROM: SCALE: 1/4" = 1'-0"



DESIGNER
OWNER
TOWN OF YORK
186 YORK STREET
YORK, MAINE 03909

PROJECT
LONG SANDS BEACH
BATHHOUSE
178 LONG BEACH AVE
YORK, MAINE 03909

DRAWING
LEGEND, NOTES,
ONE-LINE AND PANEL
SCHEDULE
CWS PROJECT NUMBER: 15008

REVISIONS

1	ADDENDUM #2	10/13/2016		
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DRAWING NUMBER
E3.01

SCALE: 1/4" = 1'-0"
DATE: 10/04/16