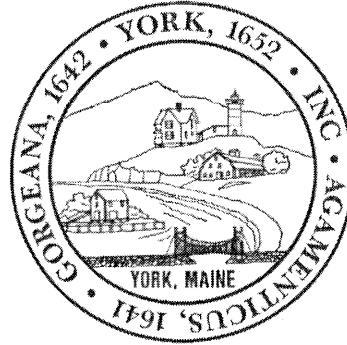


## York Beach Village Center Design Standards



Town of York, Maine

Enacted: November 2, 2010

Certified by the Town Clerk:

Mary-Ann Lydenauich on 11/5/10  
(signature) (date)



## **York Beach Village Center Design Standards**

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## **OVERVIEW**

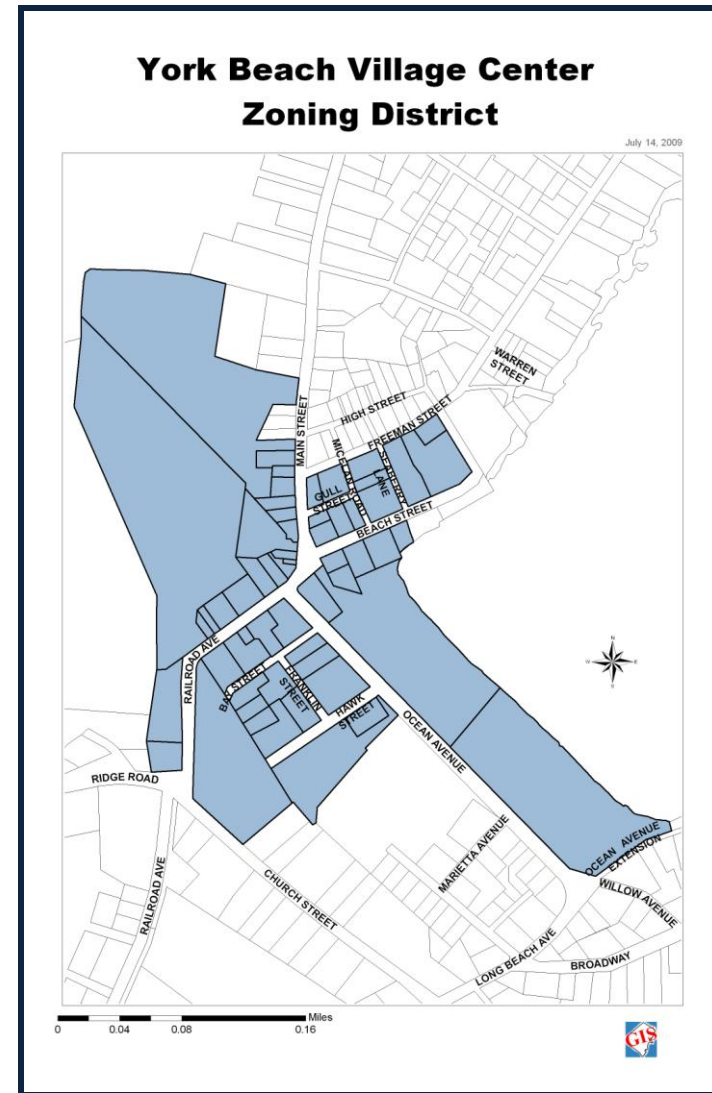
### **PURPOSE OF YORK BEACH DESIGN STANDARDS**

York Beach today continues to reflect an historic past that is closely linked to its southern Maine coastal heritage. The purpose of these Design Standards is to:

1. assure future development in the York Beach Village Center (YBVC) zoning district that draws inspiration from the traditions of York Beach and similarly situated New England communities;
2. promote safe, functional and attractive development of the YBVC zoning district;
3. enhance the public experience in York Beach;
4. grow and protect property values and the general welfare by enhancing the community's appearance.

York Beach is fortunate to have many locally-owned and operated businesses with deep commitments to the Town, which recognize that promoting attractive and appropriate design makes good business sense.

These Design Standards strive to encourage renovation and new development that is a harmonious blend of the new with the old at a scale and style that is compatible with existing buildings and streets. These standards provide a visual pattern book that illustrates the written standards and that will guide development into the future.



### **INTRODUCTION TO DESIGN REVIEW**

The Design Review process is flexible. It is intended to encourage designs that are innovative and appropriate for their locations.

There are typically many acceptable ways to meet each standard. It is not the Town's intent to prescribe any one specific design solution through the standards.

This flexibility shall not be construed as rendering the Design Review process merely advisory or to otherwise diminish its legal requireme

### **INTRODUCTION TO DESIGN STANDARDS**

Design Standards are mandatory approval criteria that must be met as part of application review. They inform applicants and the community as to what issues will be addressed during the design review process.

Design standards are qualitative statements that address the desired character of development. Their qualitative nature is intended to provide flexibility in achieving the town's design goals.

These standards are illustrated with examples showing how the standards could be met. The examples must not be considered as the only possible design solutions. They are intended to stimulate options and provide direction for applicants. The illustrations in this document are purposefully generic in scope, intended to convey principles, and are not intended to represent specific buildings in downtown York Beach today.

### **DESIGN REVIEW PROCESS**

Below is an overview of the Design Review Process. As a Zoning document, adopted by reference in Article 18 of the Town of York Zoning Ordinance, the York Beach Village Center Design Standards are also subject to the Administration and Application Review Procedure governing all Town review and permitting in Article 18 and Article 18-A, respectively. A Design Review Permit is granted by a Code Enforcement Officer, and a Design Review Approval is issued by the Planning Board, as defined by Zoning Article 18-A; both are referred to as a Design Review Certificate throughout this document.

### **Activities Requiring Design Review**

A Design Review Certificate is required for new non-residential or mixed-use buildings or structures in the YBVC zoning district, and for exterior changes to an existing building or structure.

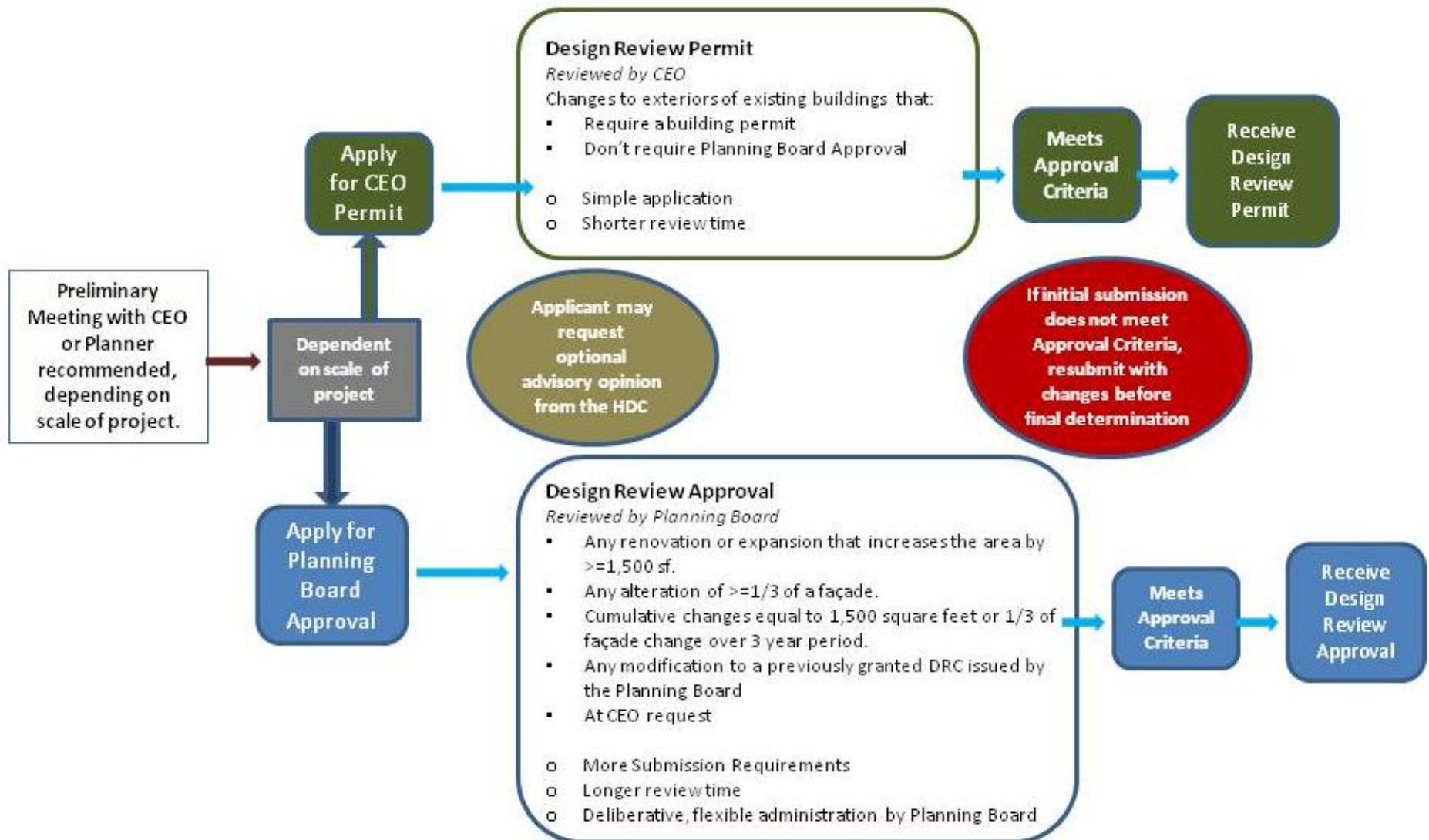
Routine maintenance or repair that will not result in substantial alteration to the form or appearance of an existing structure is exempt from these standards. Examples of routine maintenance include but are not limited to replacement of small amounts of siding, gutters, and trim, which use the same materials, dimensions, and design; repainting of previously painted surfaces; repair of deteriorating windows with in-kind dimensions and materials. Any work of a scope sufficient to trigger Planning Board review shall not be considered routine maintenance.

### **Who Reviews the Application?**

The application will be reviewed by either a Code Enforcement Officer (CEO) or the Planning Board, as determined by the scale of the project. Where possible, design standards are applied concurrently with Site Plan or Building Permit applications. The following shall determine review authority:

1. The Planning Board shall administer these Design Standards anytime there is a proposal for a new principle non-residential or mixed-use building in the YBVC zone.
2. Any expansion to an existing non-residential structure that increases the gross floor area by 1,500 square feet shall be reviewed by the Planning Board provided any portion of the expansion is visible from a street or sidewalk.
3. When one third or more of a façade is proposed to be altered, the application shall be reviewed by the Planning Board.
4. Cumulative changes equaling those in 2 or 3 (above) within a 3 year period shall trigger review by the Planning Board.
5. Any modification made to a previously granted Design Review Certificate issued by the Planning Board made within one year of approval shall be reviewed by the Planning Board.
6. Any change to the exterior of a building in the YBVC zone that requires a building permit and does not require Planning Board review as described in 1-5 above shall be reviewed by the CEO.
7. The CEO, at his or her discretion, may request that an application be reviewed by the Planning Board.
8. The applicant, at their discretion, may request non-binding design input from the Historic District Commission, to be included with their application to either the CEO or the Planning Board.

# Design Review Process





### **Scope of Review**

Renovations or additions provide an opportunity to bring non-conforming structures into greater conformity with YBVC Design Standards. Where the existing structure meets these design standards, proposed renovations or additions shall respect existing window and door patterns, proportions, details and materials. Where the existing building does not meet these design standards the addition or renovation shall be designed to maximize compliance with the standards to the extent possible.

The scope of review for additions or renovations is limited to the exterior elements of the structure which are proposed to be changed, and areas affected directly or indirectly by the change. Existing non-conformities unrelated to the changes proposed are not subject to review. For example, replacement of windows would require conformance with Section 5, Façades; compliance of the structure with the requirements for screening of functional mechanicals would be beyond the scope of either the CEO's or Planning Board's review authority in this scenario.

**SUBMISSIONS**

Below is a list of required submission materials. The CEO and the Planning Board may request additional materials if it is determined that insufficient information has been submitted to make a determination. The applicant shall be informed in writing what additional materials are required to proceed with the review. Applicants are free to provide other visual aids, or any additional information to clarify the proposal and assist the CEO or Planning Board in making a determination. This includes the option, at the discretion of the applicant, of including non-binding design input from the Historic District Commission, to be included with their application to either the CEO or the Planning Board. Material samples are intended to be incorporated for informational purposes; anything that cannot be submitted on paper will not be accepted as part of the public record.

With respect to the application review process, it is the applicant's burden to demonstrate compliance with these requirements.

**SUBMISSIONS, CON'T:**

Submission Checklist	
<b><i>All Projects:</i></b>	
Design Review Certificate Application Form	
Application Fee	
Documentation of Ownership or Interest	
Written Project Summary	
Site Location Map (to include nearby streets, adjoining properties and buildings)	
HDC Advisory Opinion (optional)	
<b><i>Construction of New Principle Building, or Construction of Addition of 1,500 sf +:</i></b>	
Photograph(s) of Existing Conditions, as seen from all adjacent public way(s)	
Photographs for Site and Context, to include adjacent buildings	
Site Plan, showing structure footprint and dimensions	
Building Elevations	
Building Plan	
Materials Specifications/Samples	
Color Specifications/Samples	
Perspective Renderings or Simulations (if requested)	
Property Boundary Survey	
<b><i>Roof and Façade Modifications:</i></b>	
Photograph(s) of Existing Conditions, as seen from all adjacent public way(s)	
Color Specifications/Samples	
Materials Specifications/Samples	
Dimensions of trim, clapboard, architectural detail and accents, as appropriate	
Perspective Renderings or Simulations (if requested)	

## **SUBMISSIONS, CON'T:**

### **Professional Certification**

Every drawing plan, specification, and report prepared by a Maine-licensed professional which is submitted with respect to an application shall be certified as indicated by the professional's stamp and signature, consistent with the requirements of Zoning §18-A.2.F.

### **Boundary Survey Requirements**

Any application for a new principle building or a 1,500+ square foot addition shall include a professionally prepared property boundary survey, and shall require installation of survey monumentation at all lot corners prior to any excavation or construction.

### **Building Elevations Requirements**

Building elevations and drawings shall be drawn to scale and include:

- a. Façade treatment and materials
- b. Façade Openings, including windows and doors
- c. Roofs
- d. Awnings and canopies, if applicable
- e. All other improvements affecting the appearance of the exterior of the building
- f. Dimensions
- g. Inclusion of to-scale elements such as people, trees, and/or vehicles.



## DESIGN REVIEW STANDARDS APPLICABILITY

Design Guideline	Proposal Type		
	New Principal Building	Facade Remodel	Additions/Expansions
<b>1. Building and Entrance Orientation</b>			
1a. Orientation to the Sidewalk			
1b. Building Setbacks			
1c. Façade Offsets			
1d. Multiple Street Frontage Entrance Location			
1e. Single Street Frontage Entrance Location			
1f. Minimum Number of Stories			
1f. Entrance Door Safety			
1g. Entrance Delineation			
<b>2. Corner Lots</b>			
2a. Minimum Number of Stories			
2b. Useable Second Floor Space			
2c. Entrance Orientation			
<b>3. Building Mass, Rhythm, &amp; Scale</b>			
3a. Buildings shall exhibit a well-composed massing			
3b. A building shall respond the physical context of the area in both rhythm and scale			
<b>4. Building Design</b>			
4a. New Principal Buildings			
4b. Existing Architectural Features			
4c. Exterior Building Materials			
4d. Functional Mechanicals			
4e. New Accessory Structures			
4f. Trademark Identities			
<b>5. Facades</b>			
5a. Blank Walls			
5b. Architectural Design Elements			
5c. First Floor Transparency			
5d. Window Size			
5e. Trim			
5f. Shutters			
5g. Color			
5h. Mixed-Use Buildings			
<b>6. Roof Design</b>			
6a. Roof Pitch			
6b. Linear Roofs			
6c. Roof-Mounted Mechanicals			
6d. Other Roof Design Objectives			

*Not all standards apply to all proposals.*

Proposals vary in size, scale and complexity. Large proposals, such as a new multi-story building face different design considerations than smaller proposals. The set of applicable design standards is tailored to the size, scale and complexity of the proposal.

This table identifies which standards apply to different proposal types. During the design review process, the review body must find that the proposal meets each of the applicable standards. Proposals that meet **all** applicable guidelines will be approved; proposals that do not meet **all** of the applicable guidelines will be denied unless modified.

 Indicates Applicable Design Standard

## **ACKNOWLEDGEMENTS**

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### **Board of Selectmen**

Tracy Jackson-McCarty, Chairman  
Catherine R. Goodwin, Vice Chairman  
Mary Andrews  
Michael L. Estes  
Edward W. Little

### **Town Manager**

Robert Yandow

### **Planning Board**

Lewis Stowe, Chairman  
Todd Frederick, Vice Chairman  
David Woods, Secretary  
Torbert Macdonald  
Tom Manzi  
Tom Prince, Alternate

### **Community Development Director**

Steve Burns

### **Town Planner**

Christine Grimando

### **York Beach Subcommittee**

David Woods, Chairman  
Dawn Fernald, Vice Chairman  
Barrie Munro  
Jim Carmody  
Fran Zanca  
Brent Merritt, Alternate  
Greg Gosselin, Alternate

**Prepared in cooperation with Lachman Architects and Planners**

**All illustrations created by Lachman Architects and Planners**

Denis Lachman, Principal

Graham Whynot-Vickers, Associate



## **DESIGN STANDARDS**

### **1. Building and Entrance Orientation**

Building orientation is critical to maintaining the visual character of downtown York Beach. A consistent series of building façades defines a street, develops the character of the area, and influences the experience of pedestrians while walking, shopping, working, and recreating.

The following guidelines support the goal of building and entrance orientations that support a strong streetline:

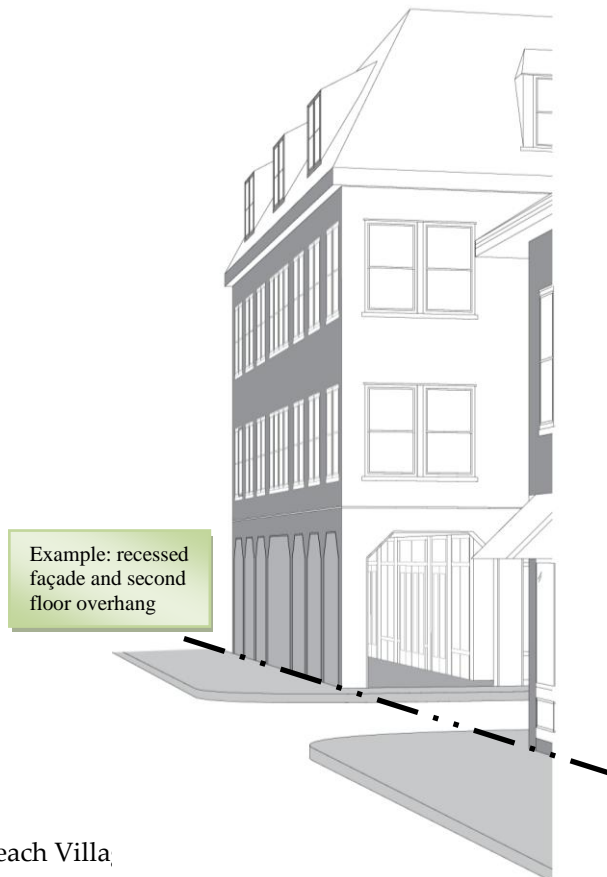
#### **a. Orientation to the Sidewalk**

New construction shall maintain alignment with the inside edge of the sidewalk, understood as the edge of the sidewalk immediately abutting the front façade. Front façades shall be located as close as possible to the inside edge of the sidewalk except to provide room for outdoor restaurant seating, to create additional public space where permitted, or to allow for vertical breaks in building façades to add visual interest for linear buildings (buildings that have a façade that is wider than it is tall). Off-street parking shall not occupy the space between the front of a principal building and the sidewalk.

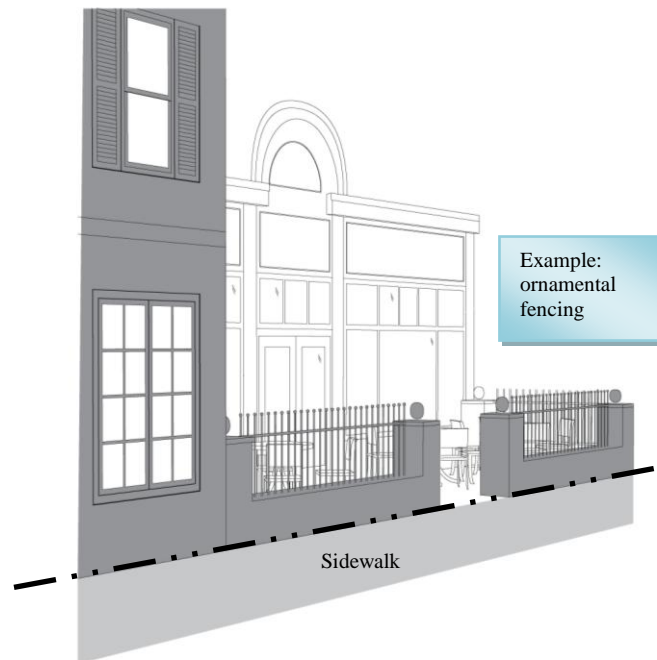
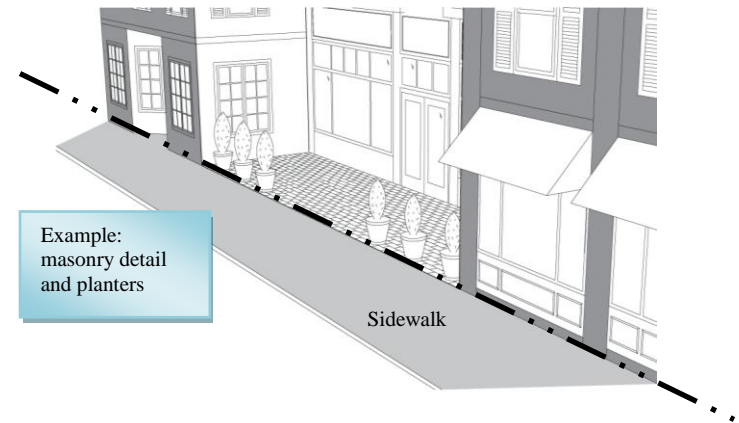


**b. Buildings Setbacks**

Whenever the front of a building is set back farther than that of abutting buildings from the sidewalk, as permitted in 1a, a demarcation line shall be established using such means as masonry detail in the sidewalk, ornamental fencing, landscaping or second floor overhangs.



York Beach Villa





**c. Façade Offsets**

Variations along the length of a building, such as front façade recesses, may be used to break up long façades to add visual interest.

**d. Multiple Street Frontage Entrance Location**

In instances of a lot fronting more than one street, the front façade shall be oriented towards the primary street frontage (Railroad Avenue for instance, for buildings that span between Railroad Avenue and Bay Street). Buildings located at the intersection of two streets are expected to have a primary pedestrian entrance, preferably a principal pedestrian entrance facing the apex of the intersection. A secondary entrance and appropriate façade treatment is strongly encouraged for the second street frontage.

**e. Single Street Frontage Entrance Location**

Where a building fronts on one street, the front façade and primary entrance shall face the street.



**f. Minimum Number of Stories**

New principal buildings shall contain a minimum of two stories.

**g. Entrance Door Safety**

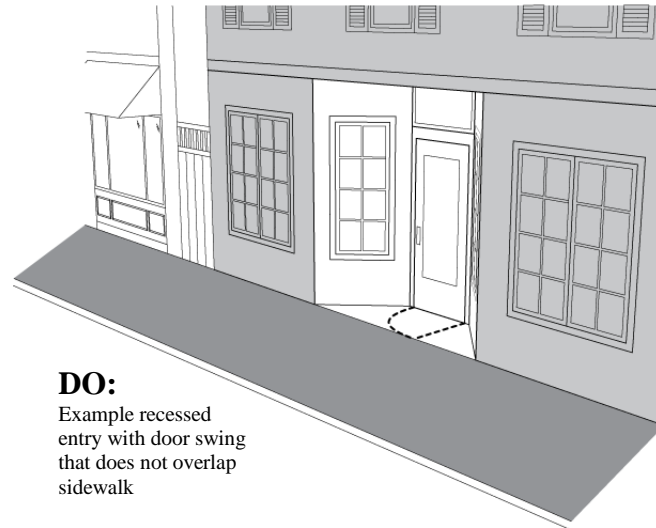
Entrance doors shall be recessed from sidewalks whenever possible so as not to create a conflict with pedestrians when open.

**h. Entrance Delineation**

Pedestrian entrances to each building shall be clearly delineated by architectural detailing, recesses or roofline breaks. Primary storefront entrances should be largely transparent, in order to promote a sense of welcome and safe access.

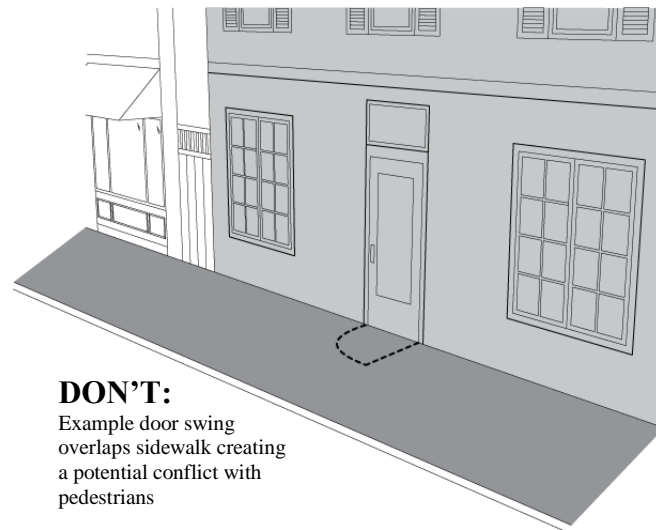


Example of a primary entrance delineated by recess, 1<sup>st</sup> floor transparency, and second floor overhang.



**DO:**

Example recessed entry with door swing that does not overlap sidewalk



**DON'T:**

Example door swing overlaps sidewalk creating a potential conflict with pedestrians

## **2. Buildings on Corner Lots**

Buildings located on corner lots are particularly important. They are visually prominent, and can help create and/or enhance lively, active intersections if well designed. They are ideal locations, where physical space allows, for street furniture and public gathering spaces, and warrant considerations such as extended curbs and aesthetic treatments that highlight their role in the pedestrian experience.

The following standards support the creation of appropriately prominent corner lots:

### **a. Minimum Number of Stories**

New principal buildings located at the intersection of two streets shall be a minimum of three stories, to be of sufficient height to add mass and visual prominence to these important visual junctions.

### **b. Useable Second Floor Space**

Buildings on corners shall have upper stories with usable floor area equal to at least 85% of the building foot print.

### **c. Entrance Orientation**

See Multiple Street Frontage Entrance Location, above.



### 3. Building Mass, Rhythm, & Scale

Scale is the measurement of the relationship of one object to another object. The components of a building, such as doors and windows, have a relationship to each other and to the building as a whole. The same building has a relationship to people, the street, and adjacent buildings, which contributes to the overall scale of the building.

Massing deals with the volume created by sections of a building. For example, a simple Colonial house might consist of one mass, but a Victorian house with porch, turret, and wings, has varied massing. The massing of a building is an important part of its style. Mass describes three-dimensional forms, such as cubes, pyramids, cones, etc. Buildings usually consist of more than one of these forms. This composition is generally described as the “massing” of forms in a building.

Rhythm, like scale, also describes the relationship of buildings to buildings or the components of a building to each other. Specifically, rhythm deals with the proportions of openings both horizontally and vertically along a street. It can be described in terms of the proportion and balance of the spacing and size of building openings and elements. Proportion deals with the ratio of spaces between elements.

#### **DON'T:**

Example single massing creates monolith



Porches, awnings, balconies, and dormer windows are examples of elements that, when emphasized properly, through proportions, choice of materials, or colors, can assist in presenting a balanced look.

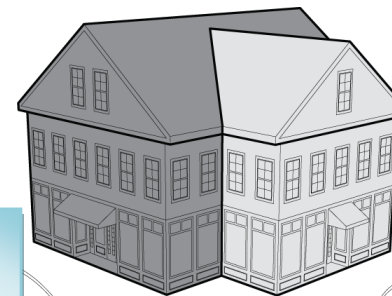
The following standards support well-composed massing, and contextually appropriate building rhythm and scale:

#### **a. Buildings shall exhibit well-composed massing**

In general, simple, functional massing will be appropriate for smaller structures, while larger buildings will need to incorporate second or third volumes.

#### **DO:**

Example multiple massing creates visual interest



Example of secondary massing with base and top

Example of primary massing with base and top

#### **DO:**

Example multiple massing creates visual interest

Example of secondary massing with bay and dormers

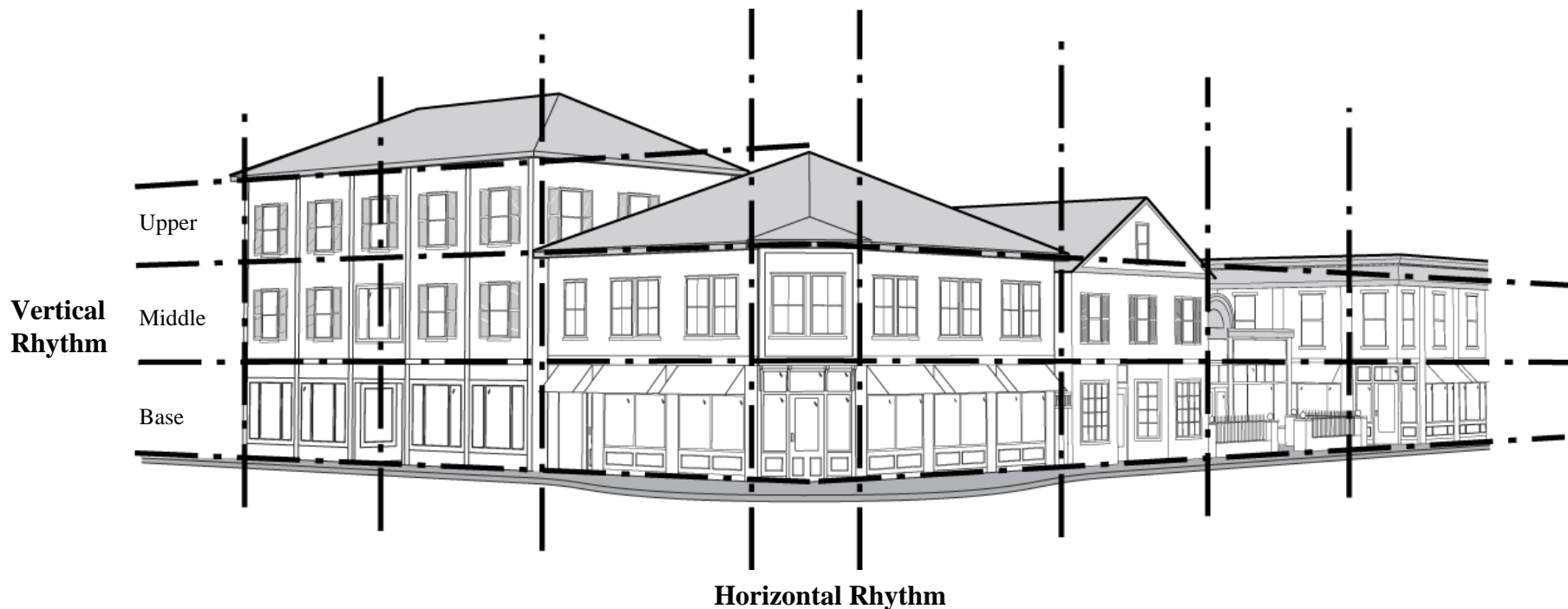
Example of primary massing with base, middle and top



**b. A building shall respond the physical context of the area in both rhythm and scale**

Spacing, size, and shape of the windows, both upper and street level openings, should be similar from building to building. A clear visual distinction between street and upper level floors is encouraged through the use of awnings, alignments or size of windows, location of signage, or changes in materials.

The size, height, and bulk of a building should not be different from those in the downtown area. Though it is expected that there will continue to be different sizes of buildings, reflecting the diversity of building types in existence in York Beach now, large or linear buildings are encouraged to break up their façades and rooflines into smaller masses to match the rhythm and scale of the surrounding downtown. This includes variations in window rhythm and façade detailing that corresponds to the average front façade dimensions of non-residential buildings in YBVC zone. The proportions of the buildings closest to the proposed construction should be maintained. Additions should maintain the proportions of the existing building.



#### **4. Building Design**

Architectural design is a key element in preserving and maintaining a sense of history and purpose for a village center. York Beach has a diversity of historic styles from various periods of New England architecture, each of which makes contributions to its overall character and form an environment distinct from the rest of York.

The following standards support the goal of building design for new and renovated buildings that complement the best of York's existing character:

##### **a. New Principal Buildings**

New Principal building design shall satisfy the standards set forth in this ordinance. The design shall demonstrate sympathetic use of form, materials, colors and architectural elements consistent with the visual character of York Beach. The design of a new building need not mimic existing buildings to be complementary, but applications that propose a significantly different building style and/or materials must demonstrate the new design's compatibility with the existing architectural environment.

##### **b. Existing Architectural Features**

Changes and improvements to existing buildings should strive to preserve and enhance original façades and character-defining architectural features.

##### **c. Exterior Building Materials**

All new construction or major renovations shall use exterior materials that are either horizontal wood clapboard, wood shingle, stone, brick or high quality

composite siding materials that closely resemble wood, stone or brick in appearance and the specifications for which exceed those of the natural material in terms of life expectancy, maintenance cost, fire prevention and insulating values. Natural materials are strongly favored for first floor façades. Upper floors and side façade materials may favor the new technology substitutes. Trim shall be wood or similar in appearance to wood, of a paintable material. Building exteriors shall not utilize synthetic stucco, vinyl clapboards or metal siding.

##### **d. Functional Mechanicals**

Wherever possible all non-roof mounted vents, electrical conduits, service meters, HVAC equipment and other exterior service elements shall be incorporated into the building design to minimize impacts on adjacent properties and public spaces, or be screened from public view. Service closets, screens, fencing, landscaping and the like may be used to screen functional mechanicals.

##### **e. New Accessory Structures**

New accessory structures shall use similar finish materials as the principal building on site. No accessory structures over 300 square feet are permitted in the YBVC for properties where the principle use is commercial.

##### **f. Trademark Identities**

Proposals for building designs and treatments that express corporate, franchise, or trademark identity shall not take precedence over these design standards.

## **5. Façades**

The façade is an exterior side of any building visible from a street. Architectural treatment of a façade, such as but not limited to recesses, projections, and detailing shall be considered a part of the façade. The front façade is the most prominent side of a building and makes a crucial contribution to the character of the street.

The following standards support the creation of attractive, engaging commercial façades:

### **a. Blank Façades**

Blank façades facing streets are prohibited. All walls shall incorporate window and door treatments and architectural design elements such as but not limited to cornices, offsets, and variations in materials in good proportion to the whole and consistent with these standards.

### **b. Architectural Design Elements**

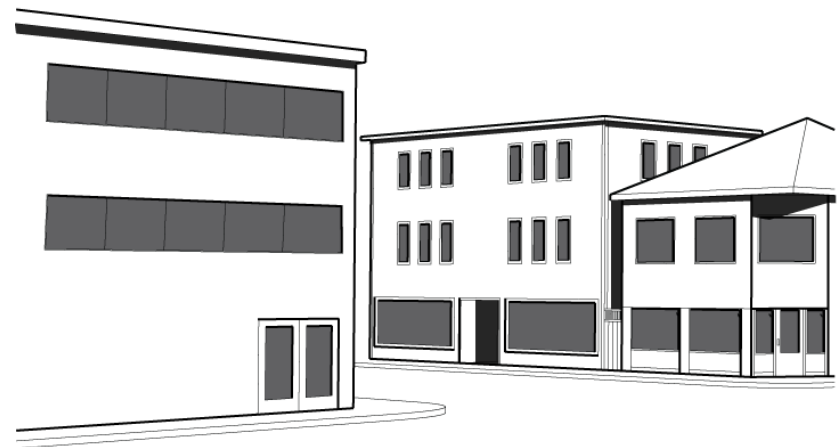
Please see the Town of York Zoning Ordinance, Article Five, for additional awning standards. Use of the following architectural design elements is recommended:

1. Awnings for appearance and to provide pedestrians with shelter are encouraged.
2. Overhanging roof lines to provide visual interest.
3. Façade recesses and projections.
4. Gables and dormers.
5. Display windows.
6. Pilasters and moldings appropriate to the overall architectural style.



#### **DO:**

Example building designs that meet the standards for §5, Façades



#### **DON'T:**

Example building designs that do not meet the standards for §5, Façades



**c. First Floor Transparency**

For buildings containing non-residential uses on the first floor, the first floor of the front façade shall have windows, display cases and other transparent features along at least 60% of its horizontal length to maximize light and display. Solid doors shall be avoided. All first floor glass shall be free of green or blue tint, with the transparency of the glass maintained. Display of goods for sale is permitted in windows, but should not create an obstruction that prohibits the ability for passers-by to see inside the establishment.

Transparency shall be maintained year-round; the blocking of glass with newspapers, cloth, etc. during periods when businesses are closed is prohibited.

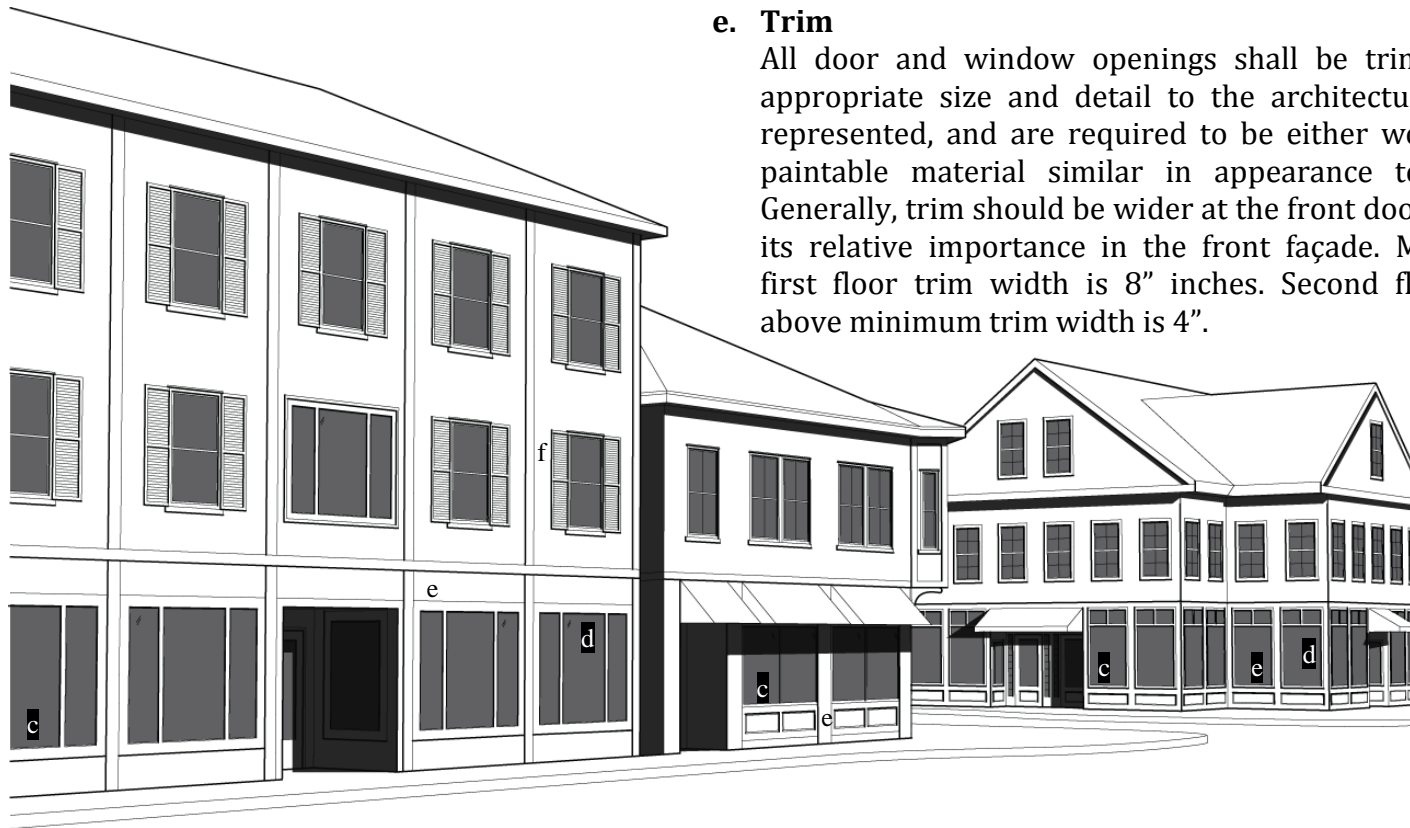
Where first floor windows located on side or rear facades open into storage areas, kitchens, restrooms, or other interior spaces not intended for public use, transparency is not required.

**d. Window Shape**

Storefront windows shall be square or vertical.

**e. Trim**

All door and window openings shall be trimmed in appropriate size and detail to the architectural style represented, and are required to be either wood or a paintable material similar in appearance to wood. Generally, trim should be wider at the front door, due to its relative importance in the front façade. Minimum first floor trim width is 8" inches. Second floor and above minimum trim width is 4".





**f. Shutters**

Shutters, when used, shall not be scaled too large or too small to cover the window opening when/if closed.

**g. Color**

A building's color scheme shall serve to differentiate the elements of the structure. The body of the building, its trim, and accents each add to overall composition and harmony. Building walls should be one color per material used, and more than one color per component of the building should be avoided.

For linear buildings, color changes may be used, along with architectural detailing, to indicate a change in business, or to aid the building's visual compatibility with the surrounding facade dimensions.

For mixed-use buildings, it is anticipated that color may vary from the first floor, along with material changes, to upper floors.

**h. Mixed-Use Buildings**

A balanced façade for a mixed-use building, defined as a building that contains a non-residential use on the 1st floor or higher, and a residential use on the 2nd floor or higher, should have a balanced façade that respects its multiple functions. A 1<sup>st</sup> floor commercial use is oriented towards the sidewalk and the public realm more so than the upper floors, and building proportions and materials can help to demarcate the public realm, and enclose the private realm, through a transition in

scale, materials, and openings. It is appropriate for the storefront level to have higher ceilings, larger window and door openings, and contrasting materials from the upper floors. The scale of building details and openings above storefronts will generally decrease, to a scale befitting their residential use.



Example of mixed-use building façade changes from ground to upper floors.

## **6. Roof Design**

Roof design, materials and color should add visual interest to the streetscape and can contribute to a sense of architectural continuity between adjacent buildings. The rooflines of a street help define an area's characteristics, much as building setbacks or street-level details do.

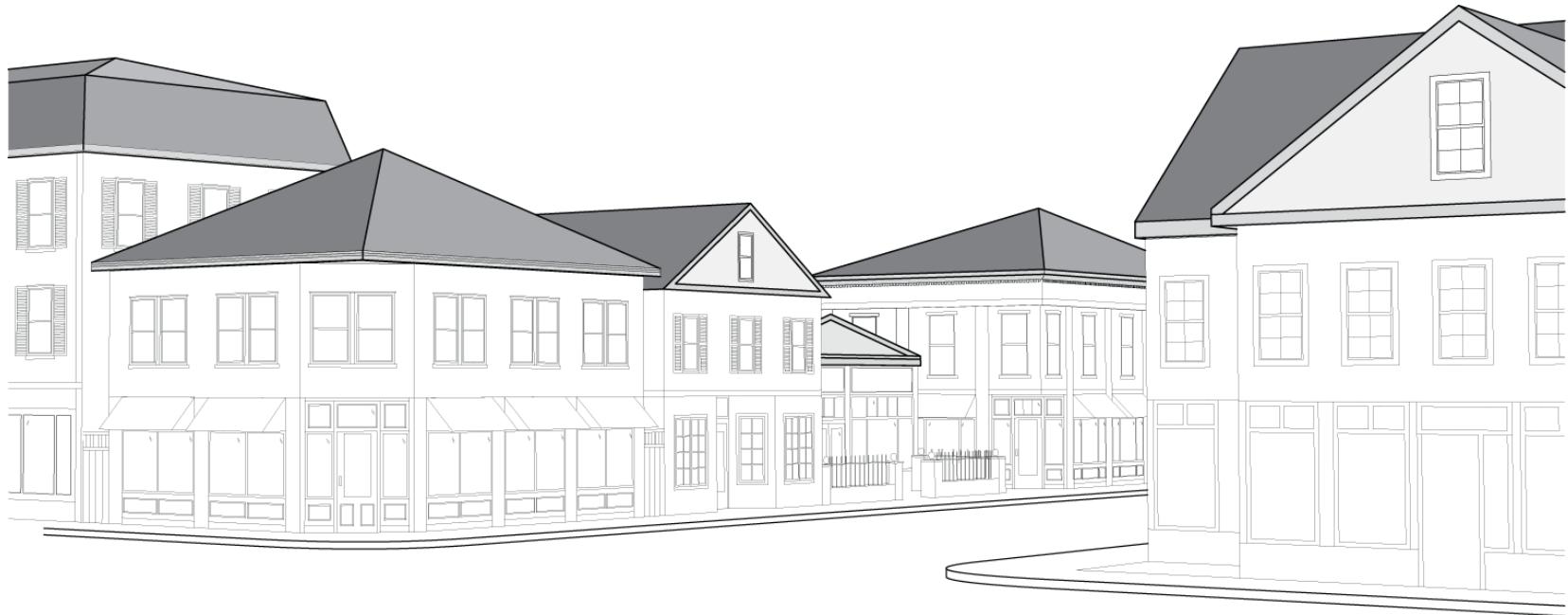
The following standards support the goal of integrated roof designs in York Beach:

### **a. Roof Pitch**

Given that York Beach buildings draw from a variety of different periods, existing roof pitches vary greatly. Roof pitch for *new principal buildings* shall have a minimum pitch of 5" of rise for each 12" of run, except as provided in §3.b below.

### **b. Roof Fronts**

New principal buildings may have flat roofs that employ a roof front to screen mechanicals. These screening devices shall not be used in the calculation of building area or volume. Roof fronts are subject to the pitch requirements for new principal buildings stated in §6.a where visible from a public way. Roof fronts may alter the required pitch in areas not visible from a public way.



**c. Linear Roofs**

The roofs for linear buildings shall use variations in pitch and height and other architectural design elements to add visual interest. The use of cupolas, dormers, chimneys and other roof detail is encouraged provided that they are designed as an integral part of the structure and do not appear as “paste-ons.”

**d. Location of Mechanicals**

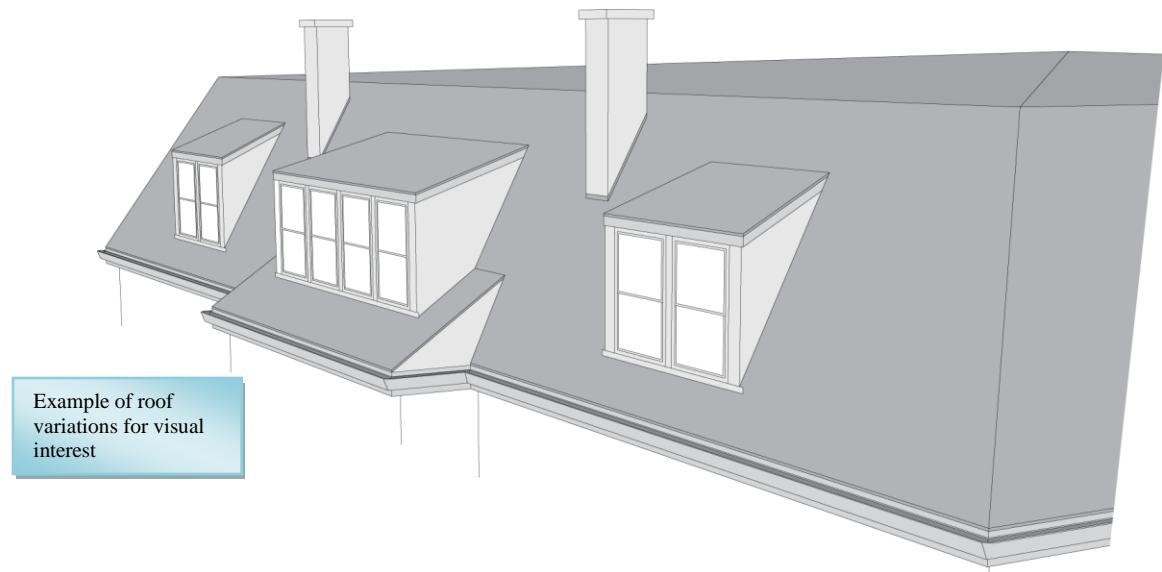
Parapets, screens, and other rooftop devices used to shield mechanicals shall be integrated into the roof design through the use of similar colors and harmonious shapes.

**e. Stormwater Design Objectives**

Roof design shall incorporate design elements intended to protect pedestrians, vehicles and abutting structures from stormwater run-off and falling ice. Whenever possible, all roof gutter systems shall attach to the municipal stormwater drainage infrastructure.

**f. Roof Material**

Under no circumstances are metallic roofs or roof fronts permitted.



**7. Green Building Elements**

These standards address the exterior of buildings and their relation to the street and other buildings in the district. Consequently, many elements of a building that can contribute to its sustainability are not within the scope of this document, including myriad interior and structural materials, technologies, and practices. However, green building elements that are visible from public ways, such as but not limited to green roofs, active and passive solar devices, rain collecting devices, and exterior finishes designed for superior energy efficiency are permitted and encouraged.

**8. Public Space and Pedestrian Standards (Reserved)**